

Design Guidelines December 2014 Version 6

(Supersedes all previous versions).

WYNDHAM HARBOUR

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1.0 INTRODUCTION

Wyndham Harbour

Wyndham Harbour is a residential and marina complex located 29 kilometres south west of Melbourne's CBD just north of the mouth of the Werribee River. The site is surrounded by places of interest and tourist destinations including Point Cook Marine Park, Victoria's Open Range Zoo, The National Equestrian Centre and The Mansion at Werribee Park and is serviced by nearby transport routes. The site enjoys a stunning natural aspect to Port Phillip Bay to the east, Melbourne CBD to the north and the You Yang Mountains to the south west.

The need for a marina in this area was established in the 1980s and an area of sea bed was set aside for the proposed 1000 berth safe boat harbour. To support this harbour activity land based facilities will include:

- marina servicing area
- dry boat storage facility
- commercial and retail activities
- residential development
- recreational facilities
- wetlands and open space



aerial photo

Development Plan

The main elements of the project are depicted on the Development Plan and include a breakwater, a marina, marina services and maintenance area, dry boat storage, dwellings, retail and commercial space, a marina centre club with future capacity for a function centre, marina operations centre, place of assembly, wetlands, a rehabilitated foreshore, sandy beaches, open space and car parking.

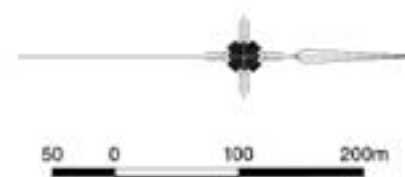
The Development Plan establishes the framework for the development of the site, including the general characteristics of the predominant dwelling types within the residential products.



* AREAS WHERE APPLICATIONS FOR LICENSED PREMISES MAY BE MADE IN FUTURE

NOTES

RESIDENTIAL COURTS WILL BE DESIGNED TO COUNCIL'S ENGINEERING STANDARDS
FUNCTIONAL LAYOUT PLANS FOR ALL ROUNDABOUTS WILL BE SUBJECT TO COUNCIL APPROVAL PRIOR TO CERTIFICATION OF PLAN OF SUBDIVISION FUNCTIONAL LAYOUT PLANS
FOR ALL INTERSECTIONS WITH DUNCANS ROAD WILL BE SUBJECT TO COUNCIL AND VIC ROADS APPROVAL.



2.0 DESIGN PHILOSOPHY

The Design Guidelines

The Design Guidelines are intended to guide the built form and landscape for Wyndham Harbour and ensure a quality outcome. They encourage creativity and individual expression, helping to create a destination for the whole community conducive to family orientated recreation and relaxation.

The Guidelines are supplemented by further details in the form of restrictions on title (restrictive covenants) and more detailed Residential Design Guidelines as per Appendix 1.

The Guidelines and Restrictive Covenants are intended as an adjunct to the normal statutory approval processes, and are aimed at coordinating and directing the design and construction of projects with different architects, landscape architects, other consultants, contractors and residents.

The Vision

The architectural vision for Wyndham Harbour is to create a benchmark in sustainable coastal design for Australia. It will be a built environment respectful of the region's coastal topography. Where possible the existing palette of the coastal vegetation, textures and colours will be used as generators for material selection, such as regional stone, rendered surfaces, dressed cedar, reclaimed hardwood, cement sheet, copper, zincalume, Colourbond roofing, slate, glass etc. The built form will be simple, elegant, interesting and in harmony with the characteristics of the topography and terrain while addressing visual aspect, orientation and environmental principles.







3.0 DESIGN GUIDELINES FOR MARINA AND ASSOCIATED BUILDINGS

Central Piazza

This facility will be the social and functional heart of Wyndham Harbour. It is the focal point of Wyndham Harbour and a central gathering place for orientation within the development. It will be a destination in its own right, a place where people want to gather. It will create a new public amenity with a real sense of place, appropriate built form with appropriate scale, bulk, height and materiality.

The Central Piazza area will include:

- retail and commercial premises including cafes and restaurants
- appropriate public access
- Marina Park
- Amenities Building including public toilets, change facilities, community room and storage
- appropriate road access
- access to the marina
- public promenades
- soft and hard landscaping

The apartment buildings around the Central Piazza are four to five storeys. The indicative building height is 19m. The scale of the buildings will be in context with the adjoining marine buildings and residential product. The design of the buildings in this precinct will be prominent so as to signify the heart of the development and to orientate visitors.

At ground level, retail areas and the Amenities Building will be landscaped with appropriate planting and signage. The built form comprises a mix of operable, solid and transparent materials such as glass, aluminium and timber. Car parking is provided at grade level.

The piazza space will also extend to integrate with the foreshore promenade and bay trail.

The Amenities Building will have a maximum height of 6m and an application of high quality design and materials sympathetic to the Wyndham Harbour development.



The Marina Centre

The two storey Marina Centre will be sited to enable security and surveillance of the marina and is positioned to optimise views over boat berths and walkways. Spectacular panorama's and a unique ambience will be created within this complex. Architecturally this building will be designed to correspond thematically with the Central Piazza, and Dry Storage buildings as an icon within the development.

Whilst the marina management functions will initially be located proximate for the first 150 berths in a purpose built interim facility, the permanent Marina Centre will ultimately house the marina management, and associated change rooms / storage coast guard, and a bar and bistor.

The indicative building height will be 15m.

Marina Centre (temporary)

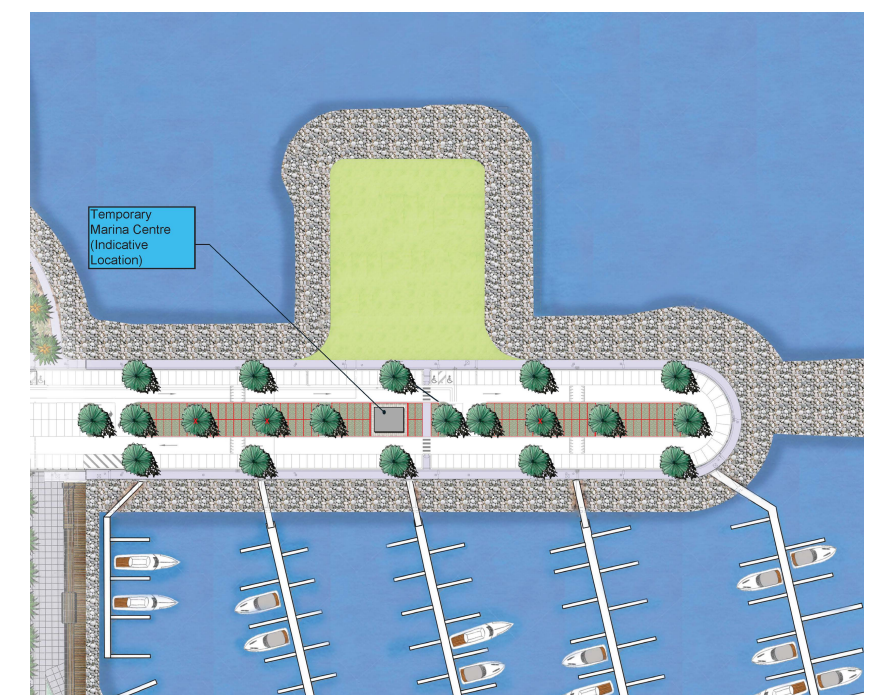
Prior to the construction of the Marina Centre, the marina manager and coast-guard will be accommodated in a temporary building on the Central Spine (maximum of two storeys) or an alternative location to the satisfaction of the responsible authority. Design parameters for temporary buildings requires reference to high quality design and materials that are architecturally sympathetic to the Wyndham Harbour development.



indicative artist's impression of the marina centre



indicative marina centre plan



indicative location of the temporary marina centre



artist's impression of the marina servicing facilities

Marina Servicing Facilities

A marina servicing area will be provided to service, maintain and store craft at a location accessible to the marina and will include facilities to enable boats to be lifted from the water and placed on to the hardstand area. This area will be serviced by a dry boat store complex, maintenance and workshop area and car parking.

The forklift and travel crane will operate between the hours of 7am and 6pm and be acoustically concealed by the dry boat store. Heavy works and boat building will not be conducted on the site. Appropriate measures will be incorporated into the design of the marina service buildings to ensure compliance with SEPP N-1 and N-2.

Along with the Marina Centre and the Central Piazza complex, this facility will be designed as an architectural feature. It is intended that this building will have an iconic role in defining the development and will include provision for commercial floorspace and public toilets.

The use of boat bays, location of boat maintenance areas, work bays, future workshop and maintenance buildings and external works areas will be subject to further Council approval.



indicative plan of marina services facilities (subject to council satisfaction)



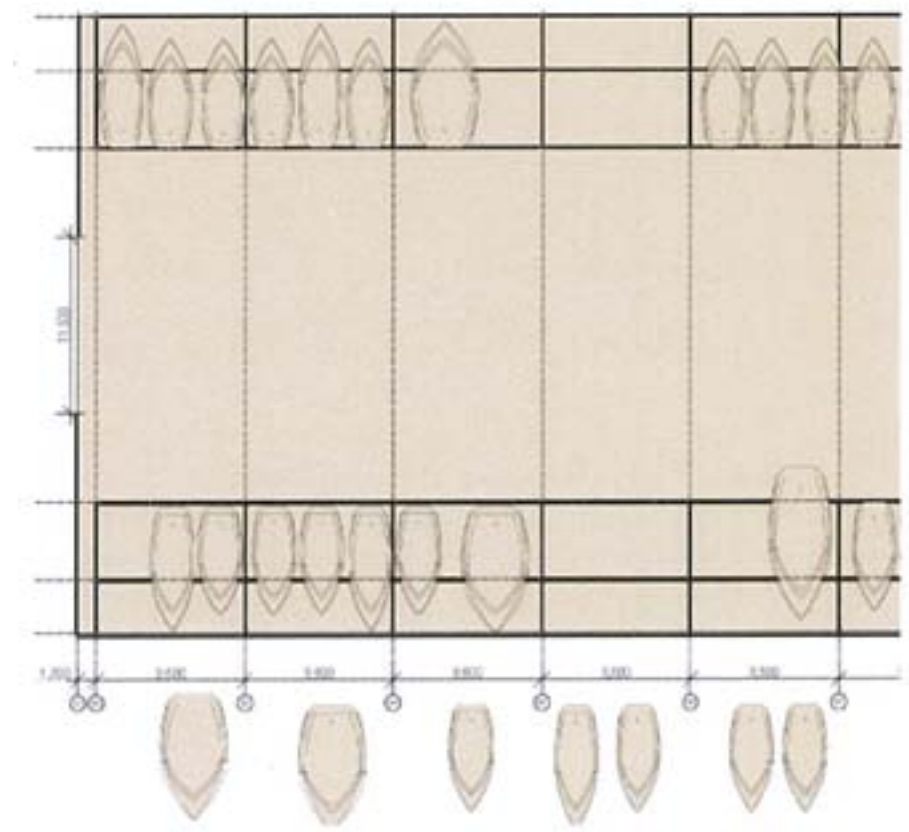
artist's impression of the view from Beach Rd

Dry Boat Store

The dry boat storage building is to be designed as an iconic element of the project and as a complimentary feature to the Central Piazza, Marina Centre.

The dry boat storage will be serviced by a fork lift truck and/or stacking system. This building will be constructed as a lightweight insulated steel frame. The roof will be clad with translucent and opaque sheet material.

Landscaping is intended along the Northern edge to soften the car park area. The rise in stacks will be between 4 and 5 and the indicative building height is anticipated to be 19m.



indicative partial plan of dry boat store



artist's impression internal view of dry boat store



artist's impression of dry boat store



Maintenance / Hardstand Area

The marina will provide for maintenance / service area associated with outboard motor servicing, mechanical, electrical and boat detailing services.

Workshop

Subject to future demand, workshop buildings may be provided should the need arise. These buildings will be designed with architectural intent beyond that of a conventional shed. Appropriate landscaping will be provided at the Duncan's Rd interface in accordance with the Landscape Plans.

The use of boat bays, location of boat maintenance areas, work bays, future workshop and maintenance buildings and external works areas will be subject to further Council approval.

4.0 WETLANDS PARK AND TEMPORARY BUILDINGS

Wetlands park

The wetlands park will serve a number of functions as follows:

- It will be a destination for passive recreational activities as well as active pursuits including walking and cycling;
- It forms part of an open space network with linkages to other open spaces and shared pathways extending throughout the site and continuing through to Werribee South via the Bay Trail; and
- It enables the effective storage and treatment of stormwater generated within the development.

There will also be two tennis courts and a clubhouse facility which will be constructed adjacent to the Wetlands Park together with visitor parking. The clubhouse facility will be a single level building and will be designed in keeping with the contemporary theming of the residential housing encouraged within the Estate with the use of similar materials to that permitted for residential housing in the Residential Design Guidelines.

The tennis courts will be managed by the Wyndham Harbour Owners Corporation and can be used by the community via the booking system. The clubhouse facility will also be managed and maintained by the Wyndham Harbour Owners Corporation and be for the exclusive use of Wyndham Harbour residents.

Clubhouse and Tennis Facilities

Within the wetlands park will be a clubhouse and tennis facilities to be managed by the Owners Corporation. The building design is to integrate with the surrounding residential design and limited to a single storey.

Use of the clubhouse facilities will be linked to the adjoining public tennis court facilities to be managed by the Owners Corporation.

Temporary Buildings

There may be some temporary commercial or community buildings provided in the early stages of the development before the final building is provided. All temporary buildings will be a similar high quality standard to all other buildings throughout the Estate and will be constructed of contemporary materials appropriate for a waterfront marine environment.



Residential Development

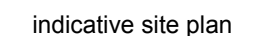
While the built form of the apartment buildings and integrated precincts of townhouses will be complementary to the overall character of Wyndham Harbour, the design of these individual developments will be site specific and will incorporate appropriate elements of these Design Guidelines.

Townhouse Development

All townhouses will include similar materials to that permitted for residential dwellings under the Residential Design Guidelines and will be of a contemporary design in keeping with a coastal environment. For design and assessment, townhouse developments will be consistent with the requirements of the following reference documents:

- The above Code applies to simultaneous developments of a minimum of 5 or more townhouses.

Townhouse development shall also have regard for the surrounding residential areas and amenities.



Siting and Setbacks

Primarily, house siting will aim to protect view corridors to the sea and/or wetlands and optimise solar access to private open space and living areas through northerly orientation and vertical terracing. Setbacks will also ensure privacy of open space.

Although Rescode does not apply to Special Use Zone, Rescode parameters will be adopted for a number of elements as detailed in the Residential Design Guidelines in Appendix 1.

Zero lot line setbacks will be permitted on one side boundary. Eaves may encroach into the prescribed setbacks by 750mm (including gutters) except on a boundary. Roof eave / fascia encroachment must comply with building code requirements as determined by a registered surveyor. Dwelling frontage and entry will be readily legible and accessible from the street or arrival direction.

Entries, windows and balconies addressing the street should promote surveillance and safety to the wider community.

The setbacks are designed to achieve a degree of consistency to establish a neighbourhood character of appropriate scale while allowing diversity of built form. Houses will be the dominant form, with built elements such as fences, walls, garages and pergolas being secondary but integral to each building. Each dwelling design, siting and orientation will complement rather than dominate others and the design of each house will consider the adjacent built form or building envelope.

Massing of houses will also allow sufficient useable sunlit private open space for each lot. Garages will be recessive and blended into the house façade making the garage less visible from the street.



indicative site plan

Building Height

Building heights will reinforce the scale and quality of the landscape and streetscape within the development. The main objective is to address visual impact when viewing housing from the street and sea and the relationship between adjacent buildings. Height and setback controls are designed to minimize overshadowing of adjoining or adjacent lots, as detailed in Appendix 1 (Residential Design Guidelines).

The maximum height for Bayside Plus and Bayside Collection homes is three storeys.

Overall height for these homes is limited to 11m.

All other residential houses are limited to two storeys and a maximum height of 9m. Waterfront homes are also limited to 9m, but may include a basement level.

These height restrictions will ensure that overshadowing and overlooking into adjoining lots does not occur.



SECTION A - RESIDENTIAL LANDSCAPE
1:300

Privacy

An objective of the Design Guidelines is to ensure that acoustic and visual privacy between houses is maximised. Direct views to private open space of an adjacent house will be avoided. Outdoor terraces and paved areas will be designed to ensure privacy from neighbours and the public.

Privacy measures such as screen planting, louvres and timber screens will be employed. All screens will be designed as integral components of the main house.

Energy and Solar Control

In all house design the ecologically sustainable design (ESD) principles for housing in Section 7.0 will be followed. In general, houses will provide northern orientation to living areas and private open space. While allowing sun access and penetration during winter months, sun access and penetration during summer months will be controlled. For cooler months, construction techniques and materials providing thermal mass internally are encouraged. Cross ventilation techniques to capture prevailing breezes through doorways and windows will be encouraged and incorporated.

Trees and shrubs will be selected and positioned to maximize solar penetration in winter and minimise it in summer. Positioning of plantings will assist in the enhancement of cool summer breezes and the protection from hot summer and cold winter winds.

Houses will achieve a minimum Six (6) star rating for energy efficient design, using government approved rating software and in addition incorporate the principles for houses described in Section 7.0.



Daylight into Windows

The objective is to allow adequate daylight into all habitable rooms via windows. Houses must, where possible, orientate habitable rooms and main private open space to the north. Windows in habitable rooms will be located with a minimum 1m setback facing an outdoor space clear to the sky.

Private Open Space

Each house will, where possible, have private open space that links to living spaces. These open spaces will have northerly aspect where possible and receive sun in the middle of the day. Solar access to private open spaces will be maximised. Some dwellings will have living spaces on upper levels to optimise views. Lower level living spaces will have access to private gardens.

External Appearance: Finishes and Colours

The houses will include finishes and colours selected from a palette approved by the Design Review Committee. Natural materials with subdued tones are preferred. The aim is to create a coherent and unified resort environment using materials that reflect the colours and textures of the surrounding environment.

All exterior materials will be authentic and genuine rather than simulated or artificial. Exterior building colours must harmonise and blend with the colours of the dunes environment and surrounding residences, taking care not to contrast with the natural setting.

Exterior hard paving colours should be complementary to the exterior building colours. Cantilevered balconies, verandahs and decks will be employed as an integral part of the development to provide shadow lines and depth to facades, further breaking up larger building forms against lighter coloured walls.



Roofs

Roofs can be the largest single visual element of a building. For this reason it is important to carefully consider roof design both in terms of style, pitch and the materials and colours selected. Simple forms are desirable, with enough variety to visually break up the overall scale of larger developments. Reasonable overhangs will ensure adequate solar control and weather proofing.

Roofs will be clad in materials and colours that blend with the adjacent natural hues. The roofing material used must be authentic and not simulated. Generally, roofing materials for dwellings will be limited to materials of low reflectivity. Final materials and roof forms will be approved by the Design Review Committee.

All roof vents will be concealed from view. Roof down pipes will not drain onto hard paved areas.

Outdoor Structures

All outdoor structures will be designed to maintain visual character integral to the main house form and design. They must not be sited in front yards or be largely visible from public open spaces.

All outdoor structures must be in accordance with the Memorandum of Common Provisions (or Restrictive Covenants) and will require approval by the Design Review Committee. Some structures may also require approval from Wyndham City Council.

Services

In principle, services will not be visually dominant. If roof mounted evaporative cooling units are to be installed on a house design, the roof design will accommodate the unit and conceal it from view. Where possible television antennas and satellite dishes will be concealed from view from the street, foreshore and public open spaces. In other cases vegetation to complement the landscape character will be used to create small discrete enclosures for services.

Any external plumbing must not be visible from the street, public open spaces and neighbouring residences. Electrical meter boxes, hot water and gas systems will be concealed from view from the street and public open spaces. Solar water heaters and collectors on roofs will be located to minimise their visibility from streets and public areas. Water tanks will be located elsewhere to minimize their visibility from streets and public areas.

Letterboxes

All letterboxes will be located for convenient access by residents and Australia Post employees. They must be designed to maintain a high standard of streetscape within the development and reflect the character and design of the house it serves.

Garages and Visitor Carparking

Garages will be designed and constructed to be complementary to the main house design.

Driveways and Paving

The material colour and form of the proposed public road will continue as the base material for residential driveways and entry paths, with complementary secondary surfaces and edging. Materials and construction of public roads will be subject to approval by Wyndham City Council.

Boundary Fences

To avoid standard suburban appearance of fully fenced lots, no fences will be constructed along the front or street boundary, or on a boundary line forward of the house, within a five metre zone from the front boundary. Boundary planting is encouraged to 'blur' the boundary between public and private open spaces. Side fences will be constructed of material that complements the main dwelling design.

Boundary fence and associated landscaping design must be approved by the Wyndham Harbour Design Review Committee and must be in accordance with the details set out in the approved Memorandum of Common Provisions (or Restrictive Covenants).

6.0 TYPICAL HOUSE LOT ILLUSTRATIONS

Individual House Lots

The layout of the individual lots and the site setbacks of the houses will be approved by the Responsible Authority and Wyndham Harbour Design Review Committee and should be consistent with the Design Guidelines and Residential Design Guidelines in Appendix 1. An indicative house design and layout representing the built form for a detached house is shown on pages 19 and 20.



indicative lot layout



indicative lot layout

Indicative Detached House Type



GROUND FLOOR PLAN



FIRST FLOOR PLAN



artist's impression

7.0 URBAN DESIGN GUIDELINES

Landscape / Streetscape

Vehicular approach to Wyndham Harbour is via Duncans Road. The quality of experience is directly related to the quality of urban and streetscape design. All roads will be tree lined. Built form along the street will be considered in totality for its appropriate scale, texture and setback from the street. Street widths will vary according to expected traffic volume and parking requirements. In all cases pedestrian friendly streetscapes will be a priority.

The landscape in the streets, car parks, parks, foreshore reserves and residential lots will be selected from the approved materials, finishes and colours palette and approved species. Landscape plans for residential lots will be submitted to the Design Review Committee as part of the house approval and landscape works must be completed within 90 days of occupation of the house.

Townscape

Materials chosen for public areas are very important in determining the behaviour and comfort of residents and visitors to the marina. The pedestrian promenades will be paved by appropriate material and punctuated with street furniture such as seating, lighting, information, signage, steps and ramps for disabled users. Roads shared by cars and pedestrians will be controlled by traffic calming devices such as paving humps and bollards. Cycling lanes will also be clearly delineated.



8.0 ECOLOGICALLY SUSTAINABLE DESIGN (ESD) PRINCIPLES FOR HOUSING

Energy Efficiency

The community is becoming increasingly aware of the need to decrease the amount of energy required in buildings as a means of reducing the use of fossil fuels and also reducing domestic fuel bills. Buildings will be sited on allotments and designed so as to maximise opportunities to capture light, sun and prevailing breezes. Ecologically sustainable design (ESD) in buildings is mainly concerned with designing for better performance with less requirements in four categories as follows:

1 Energy Use

Buildings must minimise the energy required for space heating, cooling, hot water, lighting and general power and optimise the energy costs for the construction materials. This reduces the greenhouse gas output in the construction and operation of the building.

2 Water Use

Stand alone housing will optimise water supply and employ mandatory recycling of rain water. This reduces the requirements for this precious and environmentally costly resource in the operation of the building. Each stand alone house is to have a water storage tank of at least 2,500 litres for the collection of rainwater for use in irrigation of private open space and toilet flushing. Enforcement of rain water tank size and installation will be through Wyndham Harbour Design Review Committee as per Appendix 1.

3 Resource Use

Buildings will use materials and processes which where possible are kinder to the environment, i.e. that are "sustainable". This emphasises materials that require less resources, use less energy and cause less environmental damage in manufacture and cause a minimum of construction waste. This also includes the minimisation of general waste through sorting and recycling.

4 Environmental Health

Buildings will optimise the internal environment to minimise the harm to occupants from chemicals or out gassing. This ensures a healthier internal environment in the building.

ESD Principles

Two design principles are important in the overall design of the plan and form of a house:

- large areas of exposed high thermal mass are desirable internally to achieve a stable internal thermal environment.
- high ratios of internal floor area to external wall area are desirable to minimise heat loss and heat gain.

These elements provide increased occupant thermal comfort and reduced energy for heating and cooling. A well insulated thermally stable building will also interact with the prevailing climate. Houses will have maximum orientation to winter sun through windows which face between 30 E and 30 W of North and ensure that there is cross - ventilation by the use of openings on either side of the building in the principal direction of the cooling summer breezes.

Passive and Active Energy Systems

Buildings must be insulated to maximise the use of passive systems with supplementary heating and cooling. Ideally this will be gas or reverse cycle heating or lastly electric resistance heating. Discreet location of mechanical equipment will ensure a minimum intrusion into the aural environment.

Photovoltaic cells will be installed to generate power for each house. These will be worked into roof forms so as not to dominate the skyline. Solar panels for hot water heating will also be employed and located so as not to be visually intrusive.

Low energy appliances will be installed in each new dwelling including hot water services, refrigeration, dishwashers and washing machines. The performance levels of this equipment are well documented and recognition of the inclusion of these devices will be made in the overall measure of the ESD performance of each building.



Lighting

Lighting from two sides of a room is necessary to ensure sufficient light balance. Artificial lighting will adopt the currently available contemporary lighting procedures focussing on the use of low energy (as opposed to low voltage) lighting systems. In particular the use of electronically controlled fluorescent systems is encouraged.

Increased use of natural light will lower artificial light costs and better artificial light design can lower running costs. External fenestration will be designed for increased use of natural light with larger areas of glass to habitable rooms. Artificial lighting energy requirements will be reduced by incorporating the following:

- low energy demand lights
- efficient luminaries that light wall and particularly ceiling surfaces
- electronically “smart” switching systems.

Water

The reduction of water usage within the buildings can lower fresh water requirements, waste and sewer discharges and hence water rates. More efficient hot water provision can mean a lower power demand and running costs. Minimising the amount of water used by the house has a double benefit in reducing the reliance on fresh water supply and reducing the amount of waste water that has to be treated.

Demand will be controlled by the use of flow limited taps and shower heads. Supply will also be reduced by the use of rainwater on site. Houses will be equipped with rainwater tanks for toilet flushing and private open space irrigation. Simple and safe systems will be set up for the use of garden watering and car washing, which accounts for a large amount of water usage.

Healthy Building Material and Building Specification

Healthy materials are important in creating a low or non toxic building, together with the responsible use of materials with a low environmental impact on their resourcing and manufacture.

Buildings may use green practices in material selection, waste minimisation and environmental impact. They will be encouraged to use low emission materials with minimal or no outgassing (particularly paints, glues and carpets) and environmentally responsible materials such as plantation sourced timbers.

Waste Management

Waste sorting and recycling is an important part of maintaining a “green” building. This will be achieved by minimising waste in the building construction, organising the use of recycled materials and by organising clear systems for recycling waste within the building (garden composts/ water transpiration / 3 or 4 bin recycling system for all garbage collection).

9.0 DESIGN REVIEW AND APPROVAL PROCESS

All built form to be developed as part of Wyndham Harbour is subject to planning approval issued by Wyndham City Council.

As required by the Planning Scheme, Wyndham Harbour will obtain this planning approval for the development of a dwelling on each residential lot. The Residential Guidelines (Appendix 1) will be endorsed as part of this approval and the permit conditions will require that all dwellings are designed and constructed in accordance with the Residential Design Guidelines.

The Residential Design Guidelines are supplemented by Restrictive Covenants for each stage of built form development and will become a restriction on each title. Central to the design review process is the establishment of the Wyndham Harbour Design Review Committee, responsible for reviewing all proposed housing and landscape designs. The Design Review Committee will be responsible for assessing the proposed designs against the Residential Design Guidelines in Appendix 1.

The Design Review Committee will oversee development to achieve the standard desired and expected by all potential purchasers, protecting their rights with regard to the quality of the built environment and residents' lifestyle. This Design Review Committee will consist of an Architect, a Landscape Architect, a representative of the Developer of Wyndham Harbour and a designated representative of Wyndham City Council. The Council representative may attend any or all of the Design Review Committee meetings at his or her option. A resident of Wyndham Harbour may also be a member of the committee in the future. All members will be familiar with the history of the project and its aims.

By following the recommendations contained within the Residential Design Guidelines, structures and site treatments should be acceptable to the Design Review Committee. It is the intention of the guidelines to contribute to the creation of buildings that are light, airy and spacious as well as taking advantage of and maintaining the scenic character and environmental quality of the landscape.

Document Submissions

There will be three defined stages during the design and documentation phase of a building process. These stages can be categorised into Schematic Design, Design Development and Construction Documents.

Documents are only formally required to be submitted for approval to the Design Review Committee at Design Development. The Design Review Committee will initially accept or reject the proposed design at the schematic design stage, commenting on a proposal's positive and negative aspects and improvements to be made at Design Development. A final review is conducted to ensure that the initial approved design intent is maintained and fulfills all the required criteria contained within the Design Guidelines and the Residential Design Guidelines.

Schematic Design (Proposed Plans for Discussion)

The Schematic plans give the Design Review Committee its first look at the design of the building. At this stage, the Design Review Committee will focus on the architectural form and fundamental relationships between the building and the surrounding environment of neighbouring developments, landscaping and the common properties. The Design Review Committee does not focus on detail at this point, but the choice of basic materials and their relationship to one another is required. In general, the Design Review Committee will expect schematic designs which complement the spirit of the Wyndham Harbour Design Guidelines and Residential Guidelines in Appendix 1.

The committee may reject outright without recourse a schematic design due to the submitted architectural flavour which in their opinion does not fulfil the requirements of any element of the Design Guidelines or is not in keeping with the vision of Wyndham Harbour.

Design Development

The Design Development submission is meant to provide the Developer and Design Review Committee with drawings that illustrate and communicate a fully developed design concept that is well integrated with the site and surroundings.

At this stage the Design Review Committee will provide an assessment of the design against a checklist of criteria specified in the Residential Design Guidelines. The Design Development and checklist will then be submitted to the Councils Design Review Committee representative for endorsement under the Wyndham Harbour planning permit for dwellings.

Two (2) sets of drawings will be endorsed and returned to the allotment Developer or their representative with written notice of the Design Review Committee's approval. The Design Review Committee will require two sets of Design Development Drawings for review purposes.

Architectural Plans

Minimum Working Drawings sheet requirements include:

- Cover Sheet
- Site or vicinity plan
- Project information
- Names of consultants
- Building gross floor areas
- Site coverage expressed as a percentage of the total site area.

Construction Documents

Construction Documents of the proposed design must be submitted by the lot developer to a registered building surveyor following the Design Review Committee's written approval of the Design Development plans.

General Requirements

Specifications must appear on the Construction Documents in a separate specification book. Construction Documents must have complete symbol and abbreviation legends.

Statutory Requirements

Post Design Development approval by the Wyndham Harbour Design Review Committee, developers may proceed with obtaining any other statutory approval, including building permission. Plans of all dwellings will be required to be certified by a Building Surveyor as being in accordance with the Building Code of Australia.

The Residential Design Guidelines and Restrictive Covenants are intended to be interpreted along side all statutory controls including planning and building controls.

It is the developer or their representative's responsibility to ensure that all statutory requirements as they relate to the design and construction of any building on the allotment are met. All care has been taken to ensure that these guidelines are consistent with current planning and building controls however should there be any inconsistency between the guidelines and the statutory requirements, the latter will prevail.

The Residential Design Guidelines requirements are to be enforced by means of the Planning & Environment Act 1987 as an endorsed document under the Wyndham Harbour dwellings planning permit. The permit may include a permit condition allowing variation of the endorsed Residential Design Guidelines subject to council approval.

10.0 LANDSCAPING

The landscape design will maintain the scenic character and environmental quality of the existing landscape. The design will include rehabilitation of the coastal vegetation and provide a sensitive interface with the rural land.

The wetlands and landscaped parklands will provide a high level of amenity for visitors and residents. Plantings will create an appropriate soft interface between residential and non residential uses.

The Wyndham Harbour Body Corporate will be responsible for the management and maintenance of parklands. Duncan's road will be created within the developed area.

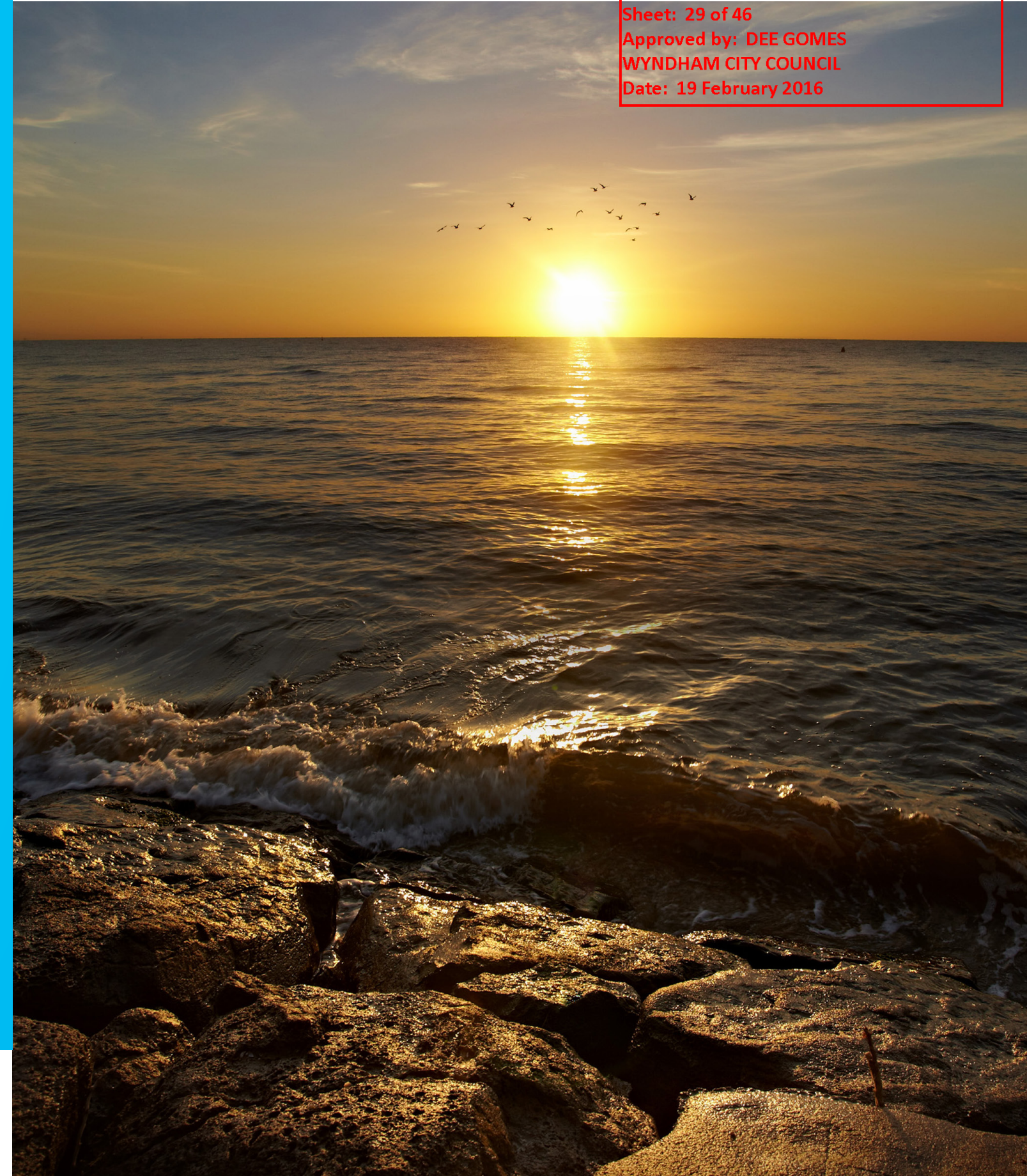
Private open space will be well defined by landscape treatments.

A planted buffer zone between the Wyndham Harbour site and Duncans Road will be created within the developed area.

An area has been generally nominated within the future wetlands recreation facility Marina Park Amenities Building to incorporate provision for the required community meeting room.



Appendix 1 – Residential Design Guidelines





Welcome to Wyndham Harbour

Congratulations on your purchase at Wyndham Harbour – Melbourne’s landmark marina development in Melbourne’s West.

You have taken advantage of a rare opportunity to purchase land in a prime location overlooking Port Phillip Bay. These design guidelines have been prepared to protect the integrity of this development, and ultimately to assist you in preparing an appropriate design submission for your particular lot. These guidelines will ensure that the streetscape and all homes that comprise it will be respectful to the vision for Wyndham Harbour.

Our aim is to protect your interests, by applying these guidelines relating to solar access, architectural integrity, privacy and landscape elements.

The Wyndham Harbour Design Review Committee (WHDRC) will have a representative that will be available for consultation when you are ready to commence your review process, whether this be prior to or upon settlement of your block.

Carbon Neutral Construction

The Wyndham Harbour project is committed to taking responsibility for its carbon “liabilities” through a carbon management program, which involves:

- > Minimisation of carbon emissions through the use of energy efficient operating systems.
- > Supplementation of the Wyndham Harbour operation wherever possible with renewable energy sources.

- > Calculation of project carbon liabilities with an “offset” through a carbon sequestration program within the Upper Werribee Catchment area.

In order to achieve “carbon neutrality” the carbon costs incurred from the various construction phases of the project will be calculated. Investment will then be made into a large scale revegetation program that will over time sequester the appropriate amounts of carbon to achieve neutrality.

The revegetation (carbon sequestration) program is to be located in the Upper Werribee Catchment. The revegetation will be part of the broader “Grow West” project which is managed by the Port Philip and Westernport Catchment Management Authority and is currently one of the largest integrated landscape rehabilitation projects in Victoria.

The project aims to recover degraded local landscapes to resemble vegetation type and biodiversity patterns found in the Werribee River area prior to 1750.

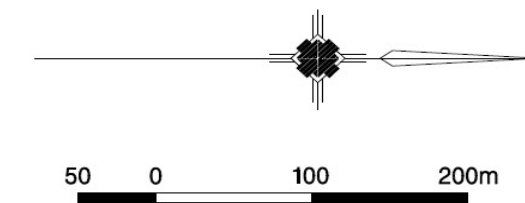
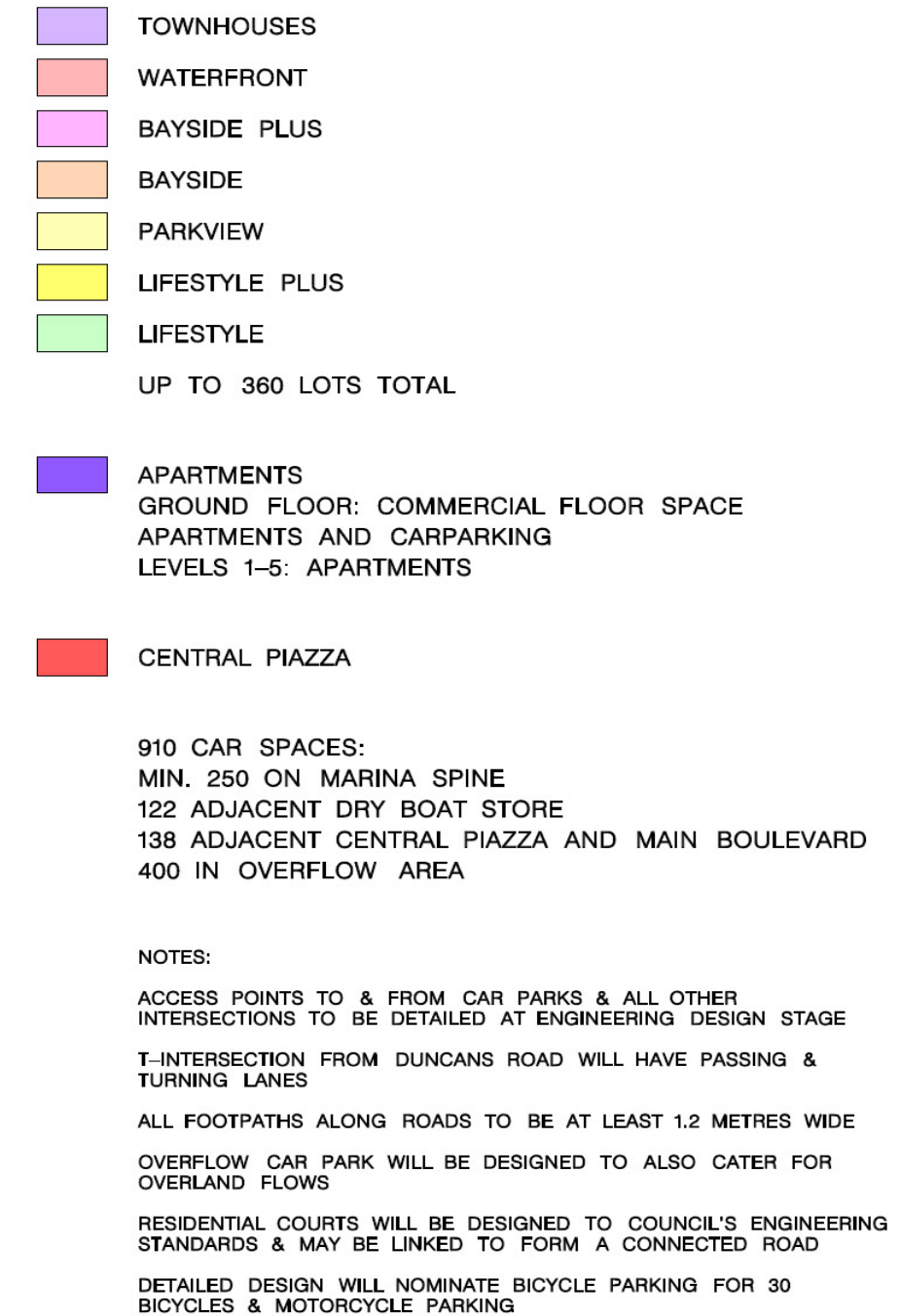
Now this is living!



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Diagram 1: Wyndham Harbour Lot Plan



1.0 Approval Process

1.1 Overview

The process of building your home involves an additional step when you choose Wyndham Harbour as your new neighbourhood. This step is an application to the Wyndham Harbour Design Review Committee [WHDRC] to ensure that the objectives and standards outlined in this guide are met.

The WHDRC is administered by the Wyndham Harbour Owner’s Corporation who employ architects as their consultants.

The standards outlined in this guide are designed to achieve a high quality of living and amenity for all residents, and to ensure that this standard is maintained in the future.

Having purchased a lot at Wyndham Harbour, your next step is to review and understand the following objectives and standards explained in this guide. It is mandatory that you, your architect or builder refer to this guide and make an application to the WHDRC. You need to make sure you have considered this important step to avoid any problems down the track.

Most importantly, approval from the WHDRC is mandatory. A building surveyor will not be able to give you permission to build your home without written approval from the WHDRC.

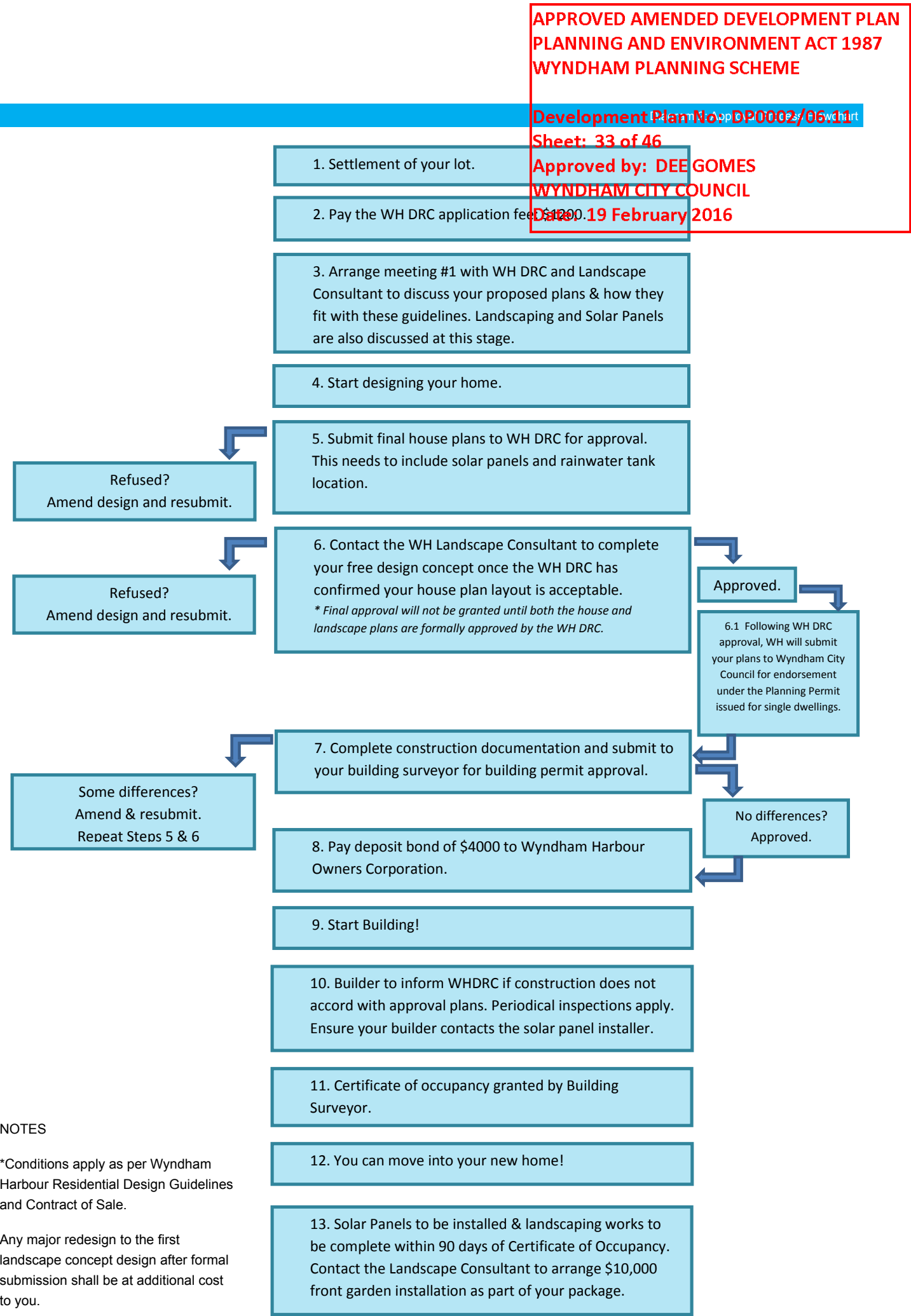
Diagram 2 (shown to the right) outlines the process of gaining approval for your home at Wyndham Harbour.

The Wyndham Harbour Design Approval Application Form in Appendix 1 explains the information that will need to be sent into the WHDRC and their contact details.

1.2 Fees

The WHDRC application requires a fee of \$1,200 which is payable upon purchase of your lot. If you wish to start the design review process prior to settlement this is possible, but the \$1200 fee is payable prior to the first meeting. Please note that the \$1200 fee includes the first two applications (whether this is done by phone, email or in person). Any further applications will be an additional fee of \$100 per hour, excluding GST.

Prior to construction commencing, a deposit bond for \$4,000 made payable to the Wyndham Harbour Owners Corporation is also required. This deposit bond is used to cover any damage to properties etc, and will be refundable upon the completion of the process providing no damage is incurred. This amount is payable prior to the start of construction of your house commencement.



1.3 The Detail

- > Diagram 1 on page 6 shows the Wyndham Harbour development including the general location of the different land uses. There are six main lot types on the development: Parkview, Lifestyle, Lifestyle Plus, Bayside, Bayside Plus and Waterfront. The standards described in this guide apply only to these lot types.
- > As the development of Wyndham Harbour progresses, the lot types and/or the standards that apply to them may be amended. We urge you to contact the WHDRC to confirm you have the latest revision of these guidelines.
- > A preliminary meeting with a representative of the WHDRC is mandatory if you are contracting a building designer who is separate to the building contractor. The representative will assist you with these guidelines and how they relate to your purchased lot and your design brief.
- > Every purchaser is entitled to meet with a representative of the WHDRC as above. If your building contractor handles the design of your house, meeting with the WHDRC representative is optional.
- > Final approval from the WHDRC is mandatory for all residential lot types.
- > Final approval from the WHDRC is separate from a building permit approval that is issued by a licensed building surveyor. You must wait until you receive approval from the WHDRC in writing before moving forward with a building permit application. Failure to do this may result in loss of time and money if you are required to make changes to your home design.
- > The WHDRC will endeavour to process your final application within 15 business days from the receipt of your application. If there is insufficient information to process the application, we will get in contact with you or your agent. If the information we require needs to be posted or e-mailed to the WHDRC, then the time to process the application will be extended by the time it takes to receive this additional information.
- > If changes to your home design are made after you have received approval from the WHDRC, then the WHDRC will need to reassess your design which your home designer or building surveyor will likely organise for you.
- > We trust you will receive final approval of your home without incident and can proceed with your building permit application. Occasionally an application will not meet the guidelines and a refusal will be issued. The reasons for the refusal will be given and you will have the opportunity to apply once again without incurring additional fees.
- > Wyndham Harbour's selected landscape architect is covered as part of your purchase costs. Wyndham Harbour contributes landscape design as well as a monetary contribution to the front yard landscaping, in accordance with the conditions outlined in the Contract of Sale.
- > Talk to your building designer or local council if you require further advice on obtaining a building permit for your home design. As required under the local planning scheme, a planning permit is required before the building permit can be issued. Wyndham Harbour will obtain a planning permit on your behalf for your lot.

1.4 Other Considerations

- > There may be other approvals you need to apply for from particular authorities that can't be predicted by this guide. We urge you to speak to your home designer, local council or building surveyor for further assistance.
- > The Wyndham Harbour standards incorporate aspects of Victoria's Rescode provisions (clause 54 of the Planning Scheme). The Rescode standards that apply to your home design are as follows:

A1	Neighbourhood Character
A2	Integration with Street
A5	Site Coverage
A6	Permeability
A7	Energy Efficiency Protection
A8	Significant Trees
A9	Parking
A10	Side and Rear Setbacks
A11	Walls on Boundaries
A12	Daylight to Existing Windows
A13	North Facing Windows
A14	Overshadowing Open Space
A15	Overlooking
A16	Daylight to New Windows
A17	Private Open Space
A18	Solar Access to Open Space
A19	Design Detail

- > Unless a guideline described in any of the following sections of this document specifically supersede a Rescode standard, then it will be assumed that the relevant Rescode standard will apply to your design.
- > Your building surveyor is required to check your home design against the relevant standards in Rescode. An approval from the WHDRC does not include this service.

2.0 Building Envelope

2.1 Overview

- > The term 'building envelope' refers to the space inside your lot boundaries where you are permitted to build your house and is often described using a minimum distance - or setback - from a particular boundary line.
- > If a setback is not specifically stated in these guidelines, then we rely on Rescode standards that govern all residential building in Victoria.
- > Diagram 3 opposite shows the different types of setbacks used in these guidelines. Your house plan will be different to the one shown.
- > A setback less than the minimum stated will not be approved under any circumstances. Measurements are taken from the closest part of the house at a right-angle to the closest boundary.
- > We strongly encourage house designs that offer good articulation and architectural integrity.

2.2 Design Details

- > You may not erect a dwelling or part of a dwelling which has side setbacks of less than 1.0m on more than one boundary unless approved by the WHDRC. Side setbacks are also dependent on the standards described in Rescode. Refer to Diagram 4 for a basic illustration of the Rescode setback envelope.
- > Rescode Standard A15 Overlooking applies and seeks to limit views into existing secluded private open space and habitable room windows of adjoining dwellings. Consideration of potential placement of adjoining secluded private open space areas and habitable room windows of future adjoining dwellings is also encouraged.

Diagram 3: Boundaries and Setbacks on a Street

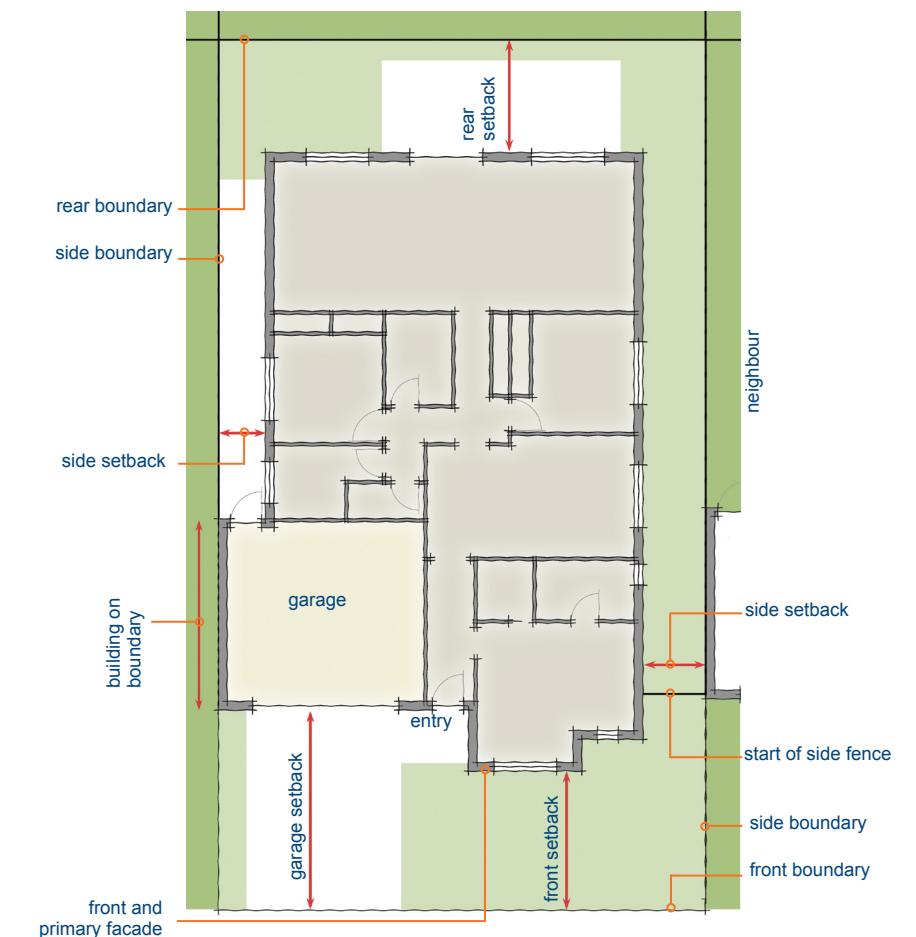
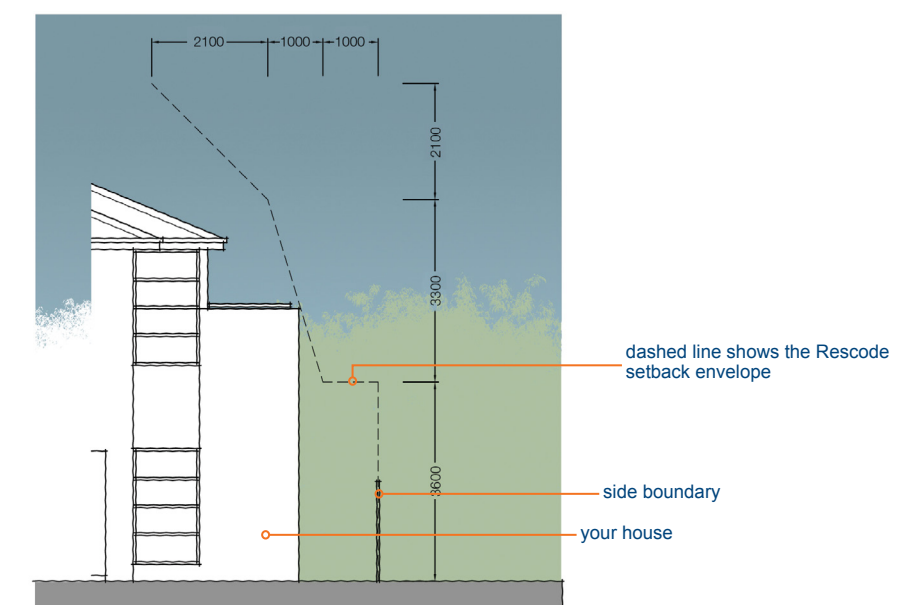


Diagram 4: Standard Rescode Setback Envelope



2.2 Design Details

- > The front setback is dependent on the total area of your lot. The setback is measured from the closest front (primary) facade wall to the front lot boundary. Your front setback must comply with Table 01.

Table 01

Lot Size	Front Setback
300m² to 449m²	Minimum 4.0m, Maximum 4.5m
450m² to 600m²	Minimum 4.5m, Maximum 5.0m*
601² and above	Minimum 4.5m, Maximum 5.5m*

*Excludes lots to be assessed separately by the WHDRC: 127, 128, 129, 130, 161, 162, 163 and 326.

- > If there is already a home approved on an adjoining lot, be aware that other standards such as overshadowing and access to natural light must also be met. The heights of walls placed on a lot boundary must also comply with Rescode standards. The rear setback is dependent on your lot type in accordance with Table 02.

Table 02

Lot Type	Rear Setback
Lifestyle	3.0m minimum*
Lifestyle Plus	3.0m minimum
Parkview	3.0m minimum
Bayside	3.0m minimum
Bayside Plus	3.0m minimum
Waterfront	5.0m minimum

*2.0m minimum to lots 101 to 119, 201 to 206 and 220 to 225 inclusive. Excludes lots to be assessed separately by the WHDRC: 127, 128, 129, 130, 161, 162, 163 and 327.

- > The building elements in Table 03 may be considered separate to a main facade. Some are allowed to encroach into a setback as shown in Table 03.
- > The height of any elements in Table 03 must not exceed 3.6m in height from natural ground level or it will be considered to be part of the relevant facade.

Table 03

Element	Applies To	Amount
Roof eave/fascia	All setbacks	750mm max.
Verandah/pergola	Front + side setbacks	1500mm max.
Verandah/pergola	Rear setback	2500mm max.
Entry portico	Front setback	none
Wall projection	Front setback	none

*Roof eave / fascia encroachment must comply with building code requirements as determined by a registered building surveyor.

- > The width of your entire front facade must be at least 70% of the width of your lot. Excludes lots to be assessed separately by the WHDRC: 128, 129, 130, 161-163, 308, 326.

Table 04

Lot Type	Maximum Building Height
Lifestyle	9.0 metres
Lifestyle Plus	9.0 metres
Parkview	9.0 metres
Bayside	11.0 metres
Bayside Plus	11.0 metres
Waterfront	9.0 metres

Table 05

Lot Size	Minimum Floor Area
300m² to 450m²	120m² (12.90 squares)
451m² and above	150m² (16.14 squares)

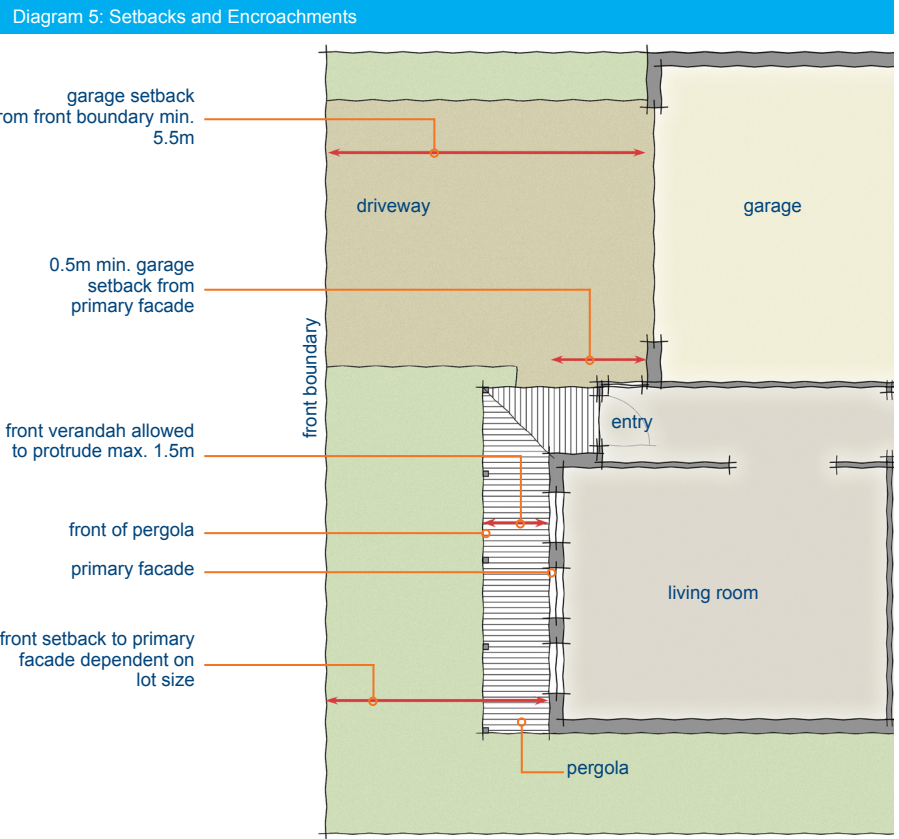
- > The front face of your garage must be set a minimum distance of 0.5m back from your main front facade, and a minimum overall distance of 5.5m from the front lot boundary (as per Diagram 5). The WHDRC may, at its discretion, consider a shorter distance than 5.5m to the garage in the case of lots smaller than 450m².
- > Basement garages are permitted on Waterfront Lots; however the basement must be constructed so the structural ground floor level accords with the specific standard explained in the Building Form (page 14) section. Ramping for basement parking must begin within 2.5m of the front boundary.

- > There are statutory requirements for basement garages as outlined below. It is recommended that approval for basement garages be sought from the Responsible Authority prior to lodgement of your application to WH DRC.

Prior to commencement of works for Waterfront lots designed with a basement car park purchasers must, submit a report from a hydro-geologist for the approval of the Responsible Authority indicating any potential impact(s) on groundwater aquifer levels of excavations associated with the proposed basement car park development. In addition, prior to the commencement of works, a construction management plan, providing details of the management of dewatering to be undertaken with relation to the construction of the proposed underground basement car park, must be submitted for the approval of the Responsible Authority.

- > Only one dwelling per lot is permitted.

Sheds are allowed in rear gardens provided they cannot be seen from a nearby public space and are not greater than 4.5m² in area.
- > Houses must be within a specified maximum height measured from the natural ground level to the highest point of the structure, i.e. the top ridge of your roof, as per Table 04.
- > A minimum size to your home is also required, depending on the lot size, as shown in Table 05.
- > The position of your garage will be dictated by the nominated location of crossover to your lot. You may apply to have the crossover repositioned, however if you are successful, you will be liable for all costs associated with the repositioning of the crossover.



3.0 Building Form

3.1 Overview

These guidelines have been produced to encourage contemporary Australian design and ensure a high quality of amenity for residents and visitors alike.

We encourage you to design your home in a way that not only addresses the minimum standards, but adds tangible value and quality to your new neighbourhood.

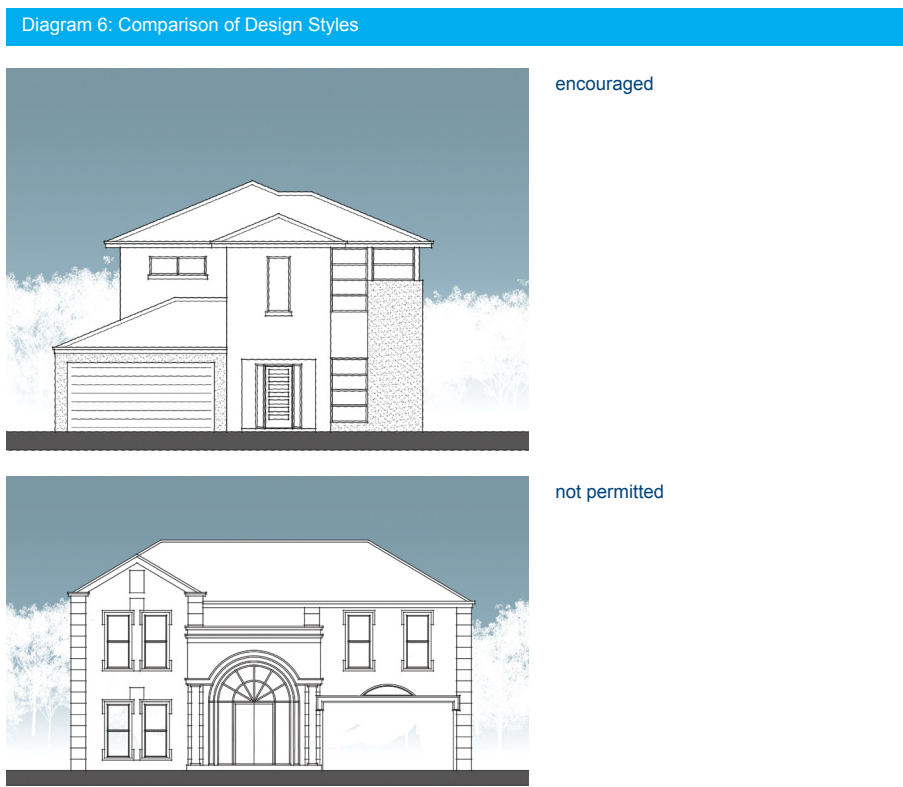
In certain cases, where individuality and architectural integrity can be demonstrated, non conforming house designs can be approved at the discretion of the WHDRC.

3.2 Environmentally Sustainable Design

It is strongly urged that your home is designed with sustainability in mind.

Good practice for designing sustainable houses includes appropriate solar orientation, solar screening, insulation, water efficient plumbing, energy efficient lighting, rain water harvesting, solar energy, passive heating and cooling.

Your house will need to meet a minimum 6 star energy rating under Victoria's energy rating system which is a process undertaken by a licensed energy rating company and is separate to these guidelines and the approval of the WHDRC.



3.3 Design Details

Design styles and motifs which do not encompass modern Australian architecture are not permitted. Specifically:

- > Home designs created to be reminiscent of earlier historic styles of architecture; for example but not limited to Georgian, Edwardian, Queen Anne and Victorian.
- > Detailing and motifs that are similar to the previously mentioned historical styles; for example, but not limited to: bay windows, iron lacework, ornate columns, ornate window treatments and the like.
- > The number of levels permitted in your home design is dependent on your lot type as shown in Table 06.

- > Wyndham Harbour, at no cost to you, will supply and install, after construction of your home and in accordance with the conditions outlined in the Contract of Sale, a 1.5 k/w solar PV (photovoltaic) system and associated hardware.
- > The ground floor structural floor level of your home must be set to a maximum of 150mm above the natural ground level of your lot, taken at the front (street) boundary.

Table 06

Lot Type	Number of Levels Permitted
Lifestyle	1 or 2 storeys
Lifestyle Plus	1 or 2 storeys
Parkview	1 or 2 storeys
Bayside	1 or 2 storeys, or 2 storeys with additional attic
Bayside Plus	1 or 2 storeys, or 2 storeys with additional attic
Waterfront	2 storeys. Additional basement parking level optional

A basement parking level in a Waterfront lot must not contain habitable rooms. The following room types are permitted; parking, laundry, storage and workshop.

An attic space within a home on a Bayside or Bayside Plus lot must conform to the following standards:

1. The combined attic spaces must not be more than 50% of the floor area of the second storey.
2. The overall design of the attic must be consistent with the architecture and not dominate the roof form.
3. Terraces are permitted from an attic but must be set within the main exterior walls of the floor level below. Terraces will be considered by the WHDRC based on their design merit and must meet rescode requirements for screening.

The following attic design objectives must also be met;

1. The attic space must be contained primarily within the roof cavity.
2. The attic levels and roof forms must not dominate the building form.
3. The attic spaces within roof forms are to be a subsidiary element of the structure and not a dominant element in terms of size, configuration and appearance.
4. Minor elements such as low height walls and windows may be considered to reduce the size of the attic roof form.
5. The design of the attic is of architectural interest and maintains architectural integrity throughout the roof form and overall house design.

Your home design must achieve a minimum 6 star energy rating.

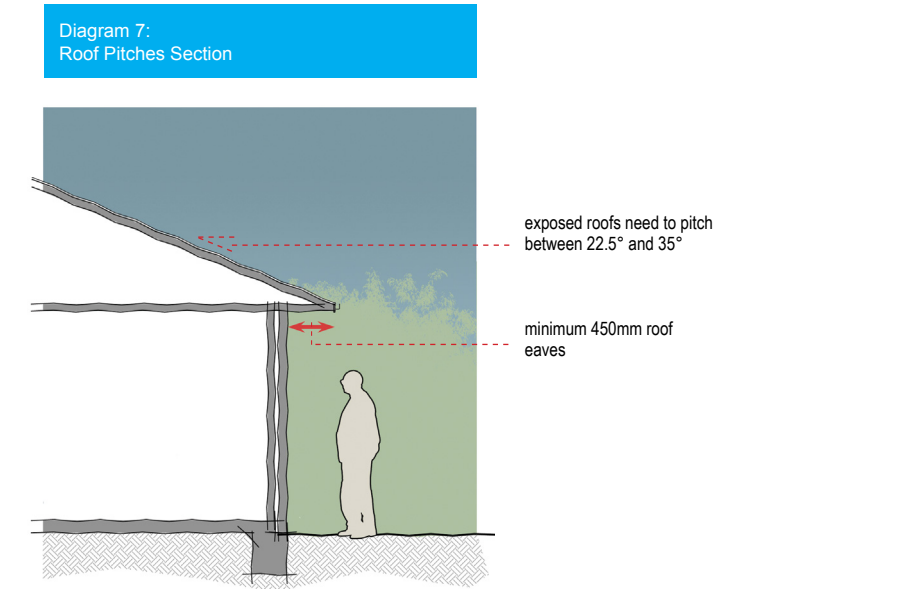
The following items must be incorporated into your home design:

1. Minimum 4 star WELS (Water Efficient Labeling Scheme) fittings and appliances must be fitted in all residential dwellings.
2. Minimum 2,500 litre rain water storage tank to be installed in all dwellings and hard-plumbed to supply toilet flushing and garden irrigation requirements (with mains back up for toilet flushing only). Not less than 50% of all dwellings roof areas are to be connected to the tanks.

3.4 Facades

The treatment of your home facades has an important impact to the streetscape. Hence there are a number of points to review:

1. The facades of your home which are visible from nearby public areas are to incorporate a mixture of materials, with no one material allowed to take up more than 75% of a facade as a whole. A modern design that emphasises built form and contains only one type of finish will be considered by the WHDRC on its own merits.
2. Walls on lot boundaries must be finished in a consistent method and finish to match with the adjoining facade walls unless the wall is facing directly against an existing wall on the adjoining lot boundary.
3. The design of the entry of your home must be well considered and easily identifiable from the street. Your home must include an entrance feature such as a veranda, porch or portico surrounding the front entry.
4. Recommendations of materials to be used for your home are listed in Appendix 2.
5. New facade finishes based on recycled content are permitted but use of secondhand materials is not.



APPROVED AMENDED DEVELOPMENT PLAN
PLANNING AND ENVIRONMENT ACT 1987
WYNDHAM PLANNING SCHEME

Development Plan No: DP0002/06.11
Sheet: 36 of 46
Approved by: DEE GOMES
WYNDHAM CITY COUNCIL
Date: 19 February 2016

4.0 Matching Facade Check

Given the contemporary nature of the Wyndham Harbour development, window designs must be in a modern style with consistent sizes and proportions shown across all facades.

1. Rounded or arched windows will only be acceptable if it can be demonstrated they are part of a modern overall facade design.
2. Metal security shutters and fabric awnings are not permitted under any circumstances.
3. Fixed screening and/or shading devices are permitted. The detailing of fixed window treatments must be included in your application.
4. We encourage you to plan for the placement of windows to allow for causal observance of the street from habitable rooms. This creates a safer environment for you and your neighbours.



Photoset 1:
Garage Door Examples



Note:
The interior planning of your home is not controlled by these standards; however we encourage you to consider many of the aspects of sustainable design as it relates to energy efficiency, orientation, flexibility and so on.

3.5 Garages

Garages form a significant proportion of your front facade and need an equal amount of attention when designing your home.

1. Whether your home design requires one or two car spaces (as per Rescode standards), they must be within a fully enclosed garage.
2. Garages must be treated as a secondary element to the front facade design of your home. The use of setbacks, roofing and materials should allow the other elements of your front facade to be more prominent.
3. Garages must be constructed at the same time as your home.
4. The position of the garage must be integral to the home, not separated, and the overall design complimentary to your home. Basement parking structures for Waterfront Lots must be contained beneath the ground floor plan and its immediate external paved areas.
5. A garage with an entry positioned at 90° to your front boundary is not permitted.
6. The garage door must not exceed 6m in width.
7. Roller doors are not permitted.

4.1 Overview

In order to provide variety in the streetscape, two dwellings of the same front facade design shall not be built within close proximity. This includes lots either side and opposite your lot.

4.2 Design Details

Your home design is not permitted to match another home already approved, or previously submitted for approval, if there are less than three lots separating the two designs.

Home designs are tested only against their front facades – similar or identical floor plans are permitted providing the facades are treated differently.

Submissions must include all information as requested on the application (refer Appendix 1) to finalise the approval process.

Diagram 8 to the right shows the method by which your home will be checked for matching facades.

Diagram 8: Matching Facade Check Methodology



5.0 Landscape

5.1 Overview

A well-designed landscape will enhance your home whilst allowing it to sit well within the greater streetscape.

The developer will organise a landscape architect on your behalf to design your landscape in accordance with the Residential Design Guidelines with an emphasis on the street fronting garden. You are welcome to liaise with them directly to establish your desired outcome.

The developer will meet the costs of front landscaping and letterbox up to the value outlined and as per the conditions in the Contract of Sale, Special Condition 1 (Landscaping Works) including design fees. The owner is responsible for all other landscape charges past this amount.

We are advocates of water sensitive design so plants and materials will reflect this philosophy.

Diagram 9: Fences and Lot Boundaries

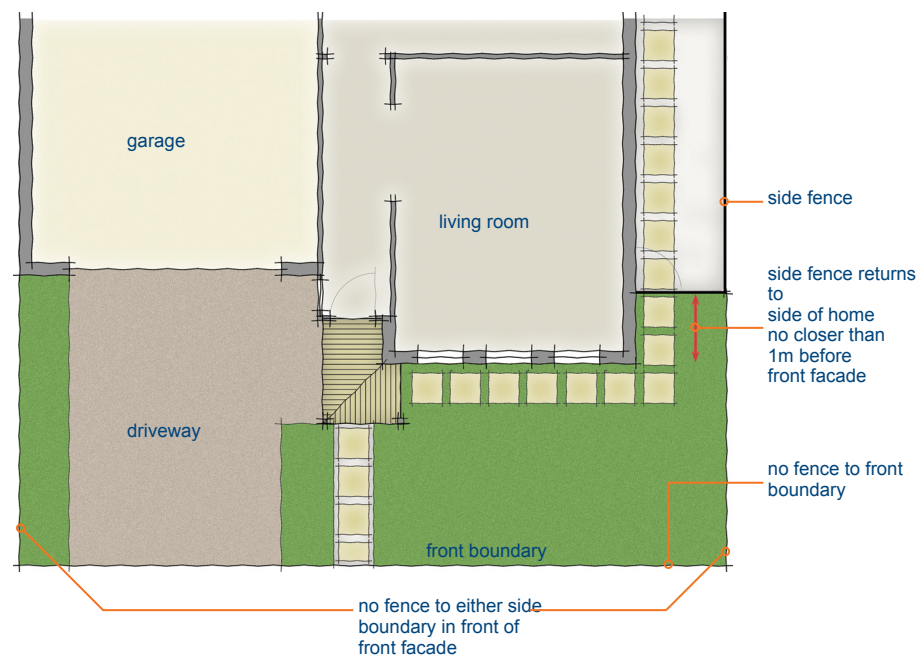
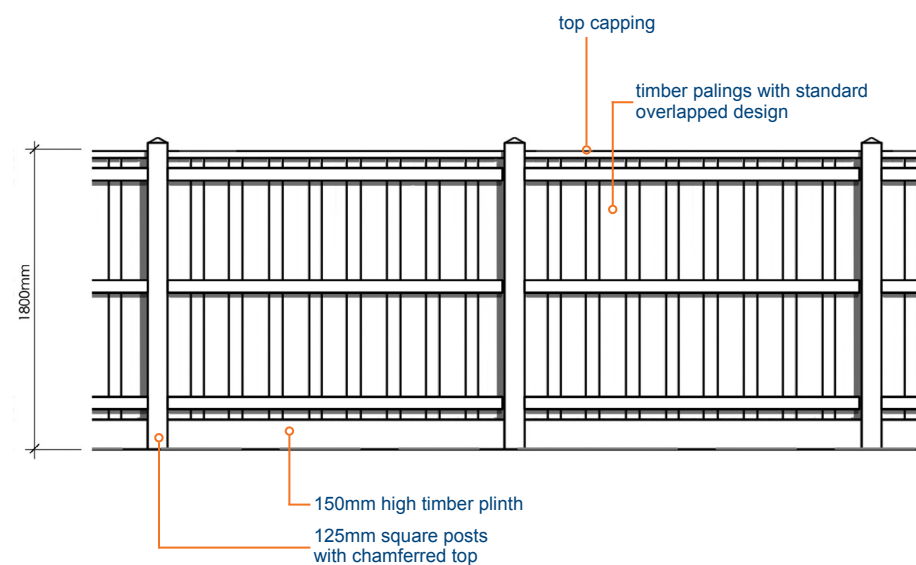


Diagram 10: Approved Side Fence Design



5.2 Design Details

- > Retaining walls are not to be greater than 500mm in height.
- > A minimum 2,500 litre water tank is mandatory and we encourage larger tanks where practical.
- > Permeable surfaces to be a minimum of 40% of the garden area.
- > A selection of contemporary letterboxes is available through the landscape architect.
- > Driveways will be of exposed aggregate concrete, tiling or stone with a selection of colours to enhance the landscape.
- > The driveway connection at the crossover cannot exceed 4.5m in width.
- > A garden bed of 300mm to 600mm will be planned to allow for screen planting between properties.
- > Rubbish, recycle bins, rainwater tanks and clothes drying must be screened from the street.

- > Side fences exposed to communal reserve areas indicated on the Plan of Subdivision will be paid for and installed by the developer.
- > 1.8m high paling fencing to the sides and rear boundary are to be provided by you and must match the fence detail above. The fencing must be completed prior to receiving your Certificate of Occupancy.

- > Side fences are to be constructed at no less than 1m behind the building line.
- > Rear fencing to Waterfront lots that face the coastal path will be designed and constructed by the developer at no cost.

5.3 Coastal Foreshore Fencing (Waterfront Lots)

- > Plans of coastal foreshore fencing shall be required to be designed and submitted by Wyndham Harbour Pty Ltd for endorsement as part of the planning permit issued for buildings and works for dwellings.
- > The planning permit requires the erection of high quality coastal fencing which displays consistency and continuity along the foreshore, constructed of durable materials not less than 1.2m in height and not greater than 1.5 metres in height, incorporating a reasonable proportion of transparent or permeable materials for sea views and passive surveillance of the public realm.
- > Coastal fencing heights shall be determined by the relative height of the foreshore and residential boundary in order to achieve a graduated transition. Coastal fencing is required to consider both foreshore function and aesthetics as well as providing a measure of privacy to residential private open space whilst maintaining favourable ocean views.

- > Fencing materials may include rendered masonry and glazing. Other materials such as timber and steel may also be considered. Use of nominated fencing materials will be determined based on consistency and continuity of appearance along the foreshore.
- > In accordance with authority requirements, No unauthorised formalised access from the individual residential (waterfront) lots via the rear coastal fence shall be permitted onto public land (Werribee South Foreshore Reserve) without the consent of the Public Land Manager or responsible authorities".
- > Where consent is obtained for direct access to the foreshore, gates shall be concealed as much as possible and designed appropriately to accord with the coastal fencing, particularly in terms of height and colour scheme.
- > Colour schemes for all coastal fencing and gates are to be in natural, muted tones that are complementary to the colours of the coastal landscape and coastal vegetation.

Diagram 11: Coastal Fencing Section 1

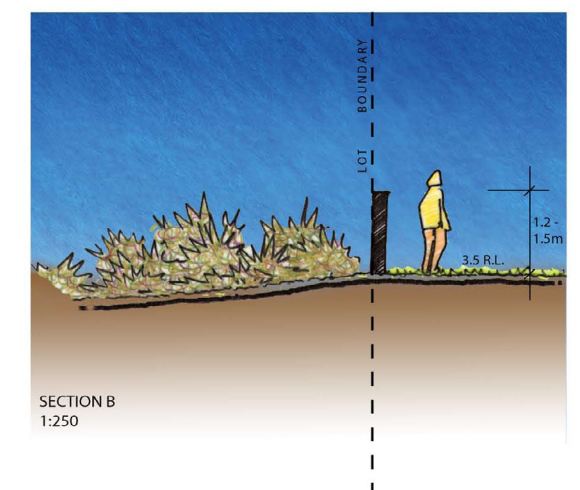
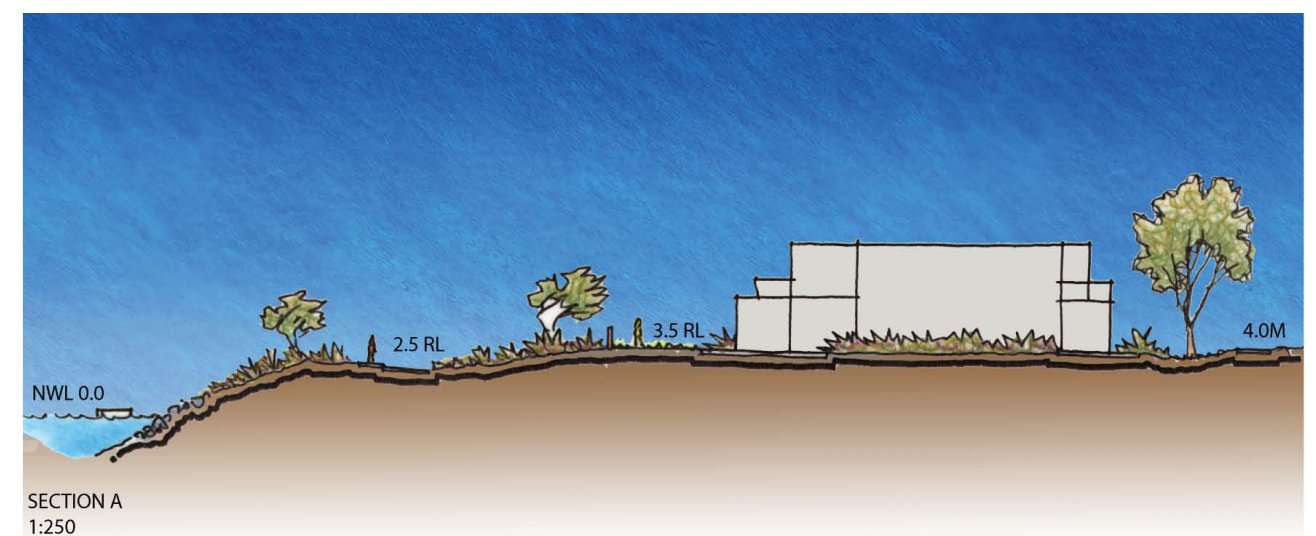


Diagram 12: Coastal Fencing Section 2



6.0 Corner Lots

6.1 Overview

Homes on corner lots have many advantages such as additional light along the lot's axis and facades that address two street frontages.

Homes on corner lots require a sensitive design solution to maximise garden space and contribute to the overall streetscape.

6.2 Standards

- > Minimum setback to the side boundary is 3m for 75% of your secondary facade.
- > 25% of your secondary facade is permitted to be setback a minimum of 2.5m.
- > The WHDRC may also, at its own discretion, consider alternative setback requirements to corner lots on an individual basis.
- > The home must be articulated to both street frontages, particularly in the case of two storey homes.
- > Consider roof form, massing of the building and window placement to both frontages.
- > The entry to your home must be from the street listed as your lot address (front boundary).
- > A garage located separate to your house with access from the secondary boundary is permitted for corner lots. The garage must be built against the rear boundary and setback 2.5m from the secondary boundary. The internal size of a separate garage is restricted to maximum 6.0m wide and 6.0m to 6.8m deep.

Diagram 13: Example of Good Corner Lot Design

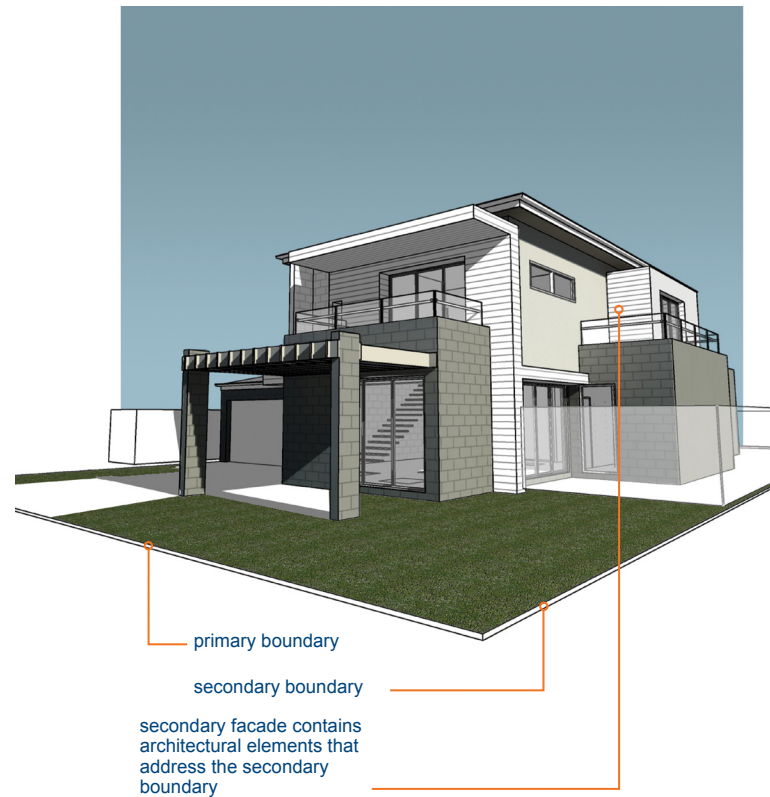
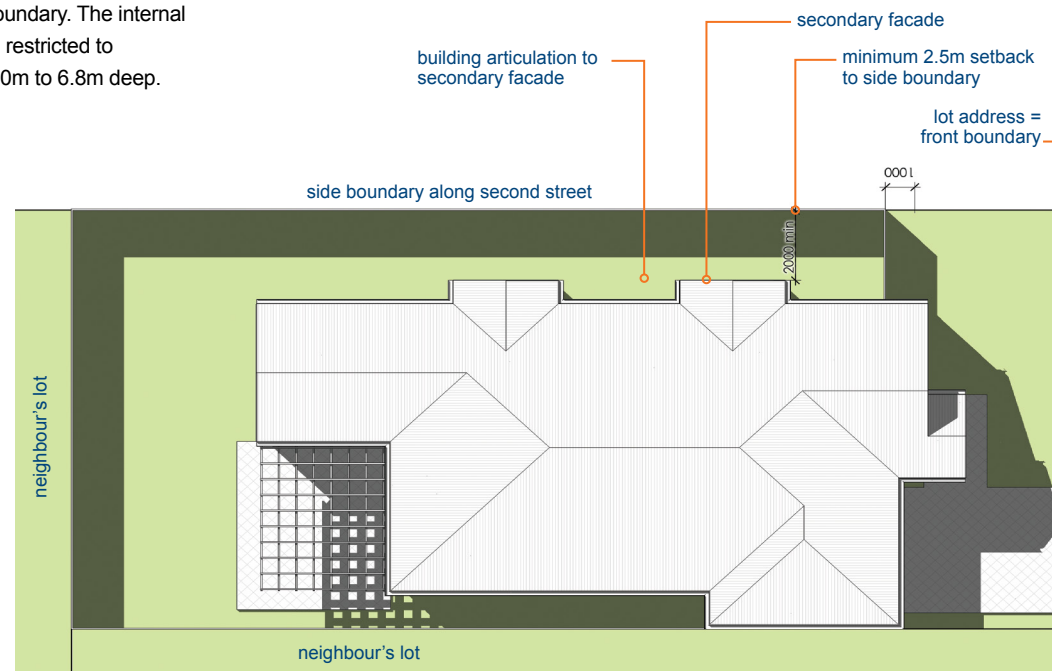


Diagram 14: Corner Lot



7.0 General Provisions

7.1 Services and Equipment

- > All equipment and services are to be hidden or screened from street view so that the architecture makes a statement to the street.
- > Pay television signals will be accessible via fibre optics to every lot. Consequently television aerials, satellite dish or other antennas must be obscured from view where possible. Note that the fibre optic cable will be supplied to the boundary of the property only.
- > AC units must be located to minimise their visual impact to the street and where they will not cause unnecessary noise for neighbours.
- > Evaporative AC units are to be positioned so as to minimise visual impact from the street, must be installed no higher than the ridge line and are to be in the same colour as the roof material.
- > Solar panels are to be located out of public view where possible.
- > Roof mounted hot water tanks are not permitted.
- > Water tanks should be screened from both the street and from adjoining neighbours' lots. We encourage tanks to be semi submerged to allow them to be screened by the boundary fences at 1.8m.
- > All waste plumbing must be concealed externally.
- > Downpipes and gutters must be in a colour and finish that enhance the architecture.
- > Spa pumps must be installed so as not to be viewed from the street and positioned where they will not cause unnecessary noise for neighbours.

- > Clothes lines and drying areas should be screened from the street and from your neighbours by creating services areas and utilising landscape elements.
- > Sheds are to be no greater than 4.5m² in area and not greater than 2.4m in height. They must be setback a minimum of 1m from boundaries and screened to neighbours' lots by use of landscape elements.
- > Swimming pools, spas and water features may be built within the setback zones although any outbuildings must still comply with the setback requirements.
- > Television aerials, satellite dishes or other antennas must be obscured from view where possible and have limited impact on the visula amenity of nearby land and the Harbour development.

7.2 Standards During Construction

- > It is the owner and their builders' responsibility to ensure that construction works comply with all council bylaws and regulations – the developer nor the WHDRC accepts responsibility for construction works.
- > It is the owner's responsibility to ensure that their builder complies with all Owner Corporation rules and bylaws.
- > Construction must begin within 24 months of settlement and construction must be completed within 12 months of the work commencing with no idle work for more than 8 consecutive weeks. Should these timeframes not be met, penalties and loss of incentives will occur as outlined in the Contract of Sale.
- > It is the owner and builder's responsibility to keep a clean site during construction so as not to negatively impact on other owners or the community. All builders must have a bin on site for building refuse; fines will be issued by the Wyndham Harbour Owners Corporation for those who don't comply.

- > It is the owner's responsibility to cut grass, weeds and removes rubbish on their lot prior and after construction. Dumping of such on adjacent lots is prohibited, fines will be issued by the Wyndham Harbour Owners Corporation for those who don't comply. Refer to the Wyndham Harbour Owners Corporation for further information.

7.3 Signage

No signage is permitted except for the following:

- > Builder's and tradesperson's signs of not more than 600mm x 600mm during construction. All signs must be removed within 10 days of the certificate of occupancy being issued.
- > One sign only advertising the sale of a complete dwelling is permitted. The maximum size of the sign is 4m² and must be removed within 10 days of the property being sold.
- > No other signs are permitted. The developer retains the right to install signage for lots that are for sale.

Glossary and List of Appendices

Glossary of Terms

Building Permit – Legal authority to commence building your home.

Building Surveyor – Person/company that reviews your construction drawings for the purpose of issuing a building permit.

Certificate of Occupancy – Issued by a Building Surveyor to state that your home is finished to a standard acceptable to occupy.

Contract of Sale – Agreement between yourself and Wyndham Harbour Pty Ltd to purchase your lot.

Crossover – Allows cars to cross naturestrip to driveway.

Facade – Combination of walls of a house facing one direction.

Habitable Room – Lounge, dining, bedroom etc. Not bathroom, utility, storage rooms etc.

Home Designer – Building designer, architect, draftsman etc.

Local Council – Wyndham City Council (03) 9742 0777.

Medium Density – More than one house on a lot, typically townhouses or apartments.

Parapet Wall – A wall that extends above a roof immediately adjacent to it.

Rescode – Victoria's legislated standards for building single and multiple dwellings on a single lot.

Reserved Lot – For Wyndham Harbour only; a lot to be used for medium density or commercial and medium density building.

Setback – The distance between a lot boundary and a part of the closest parallel facade.

WHDRC – The Wyndham Harbour Design Review Committee; a group administered by the Wyndham Harbour Owners Corporation to review your home design submission. Generally made up of architects, owners corporation representatives, landscape architects, the developer and/or authorities where required. This is subject to change over time.

List of Appendices

Appendix 1 – Application Form and Checklist

Appendix 2 – Recommended External Finishes

Appendix 3 – Landscape Guidelines and Sample Landscape Plan

APPROVED AMENDED DEVELOPMENT PLAN
PLANNING AND ENVIRONMENT ACT 1987
WYNDHAM PLANNING SCHEME

Development Plan No: DP0002/06.11
Sheet: 40 of 46
Approved by: DEE GOMES
WYNDHAM CITY COUNCIL
Date: 19 February 2016

Appendix 1

Application Form and Checklist

A1.0 Wyndham Harbour Design Approval Application Form

A1.1 Details

Lot No:

Owner's Name:

Current Postal Address:

Home Phone:

Bus Phone:

Owner's Email:

Builder's Name:

Builder's Work Phone:

Builder's Email:

Primary Contact:

tick one: ☐ builder / architect ☐ owner

A1.2 Documentation required to be submitted for approval

- ☐ Site Plan (min scale 1:200) indicating setback dimensions for all buildings, total footprint and floor areas, vehicle crossover, driveway, north point and building envelope.
- ☐ Floor Plans (min scale 1:100) showing key dimensions, window positions and roof plan.
- ☐ All Elevations (min scale 1:100) indicating building heights, roof pitch, eaves depth, and specific window treatments.
- ☐ Schedule of all external finishes and colours and all external building equipment (eg: garden sheds, pergolas, BBQ areas).
- ☐ Location and type of all external structures and equipment including water storage and any screening as required.
- ☐ Completed standards check list (page 25).
- ☐ Schedule of external colours and materials.

Note: All drawings to be provided include two full sized copies to 1:100 scale and other copies in A3 format. A3 format copies may be provided on paper or PDF file. Incomplete applications will be returned.

I hereby agree and acknowledge that this application, and the drawings submitted, have been prepared in accordance with the Residential Design Guidelines, and that I will comply with the requirements of the Wyndham Harbour Design Review Committee.

Signature of Owner or Owner's Agent:

Date:

A1.3 Conditions

Preliminary briefing from the WHDRC as noted in Section 1.3 must be obtained prior to making this application unless you are exempt as outlined on page 10.

The WHDRC will endeavour to assess proposals in the shortest possible time and generally within 15 business days of receipt of application, if all of the above documentation is provided.

Applications cannot be assessed until all of the above information is available. Faxed applications will not be accepted. Email applications will be accepted but two full sized plans at 1:100 scale must be posted or delivered. All email documents must be in PDF format. The WHDRC also reserves the right to request further information.

It is the responsibility of the owner to ensure that the proposed building works comply with overshadowing and overlooking provisions as stated by local Council and State Government requirements i.e. Rescode.

Please submit the required documentation to:

Wyndham Harbour DRC
c/o Wyndham Harbour Owners Corp
Level 1, 70 Dorcas Street
Southbank VIC 3006

drc@wyndhamharbour.com.au

Further information and advice regarding the approval process is available from the Wyndham Harbour Sales Team, Owners Corporation or The WHDRC. For contact details, please use the above email address.

Appendix 1

(continued)

A1.4 Design Standards Checklist

A1.4.1 Approval Process

Provided all items as listed for your application

A1.4.2 Building Envelope

- ☐ Front setback according to Table 01
- ☐ Side setbacks to Rescode standard
- ☐ Rear setback according to Table 02
- ☐ Walls on boundary to Rescode standard
- ☐ Allowable encroachments to setbacks within limits according to Table 03
- ☐ Front facade minimum 70% of lot width
- ☐ Garage meets minimum setback requirements
- ☐ Ground floor structural level within 150mm above natural ground level
- ☐ Home within maximum height limit according to Table 04
- ☐ One dwelling per lot
- ☐ Floor area of home above minimum requirement according to Table 05

A1.4.3 Building Form

- ☐ Home design does not reflect traditional styles
- ☐ Number of levels within limits according to Table 06
- ☐ Home design achieves minimum 6 star energy rating required
- ☐ Waterfront lot: basement level restrictions met
- ☐ Bayside / Bayside Plus lot: attic design restrictions met
- ☐ 4 Star WELS fittings and appliances
- ☐ Provision for solar photovoltaic system made
- ☐ Facades thoughtfully designed with articulation, materials and point of entry
- ☐ Roof design and pitch restrictions met
- ☐ Window design and treatment restrictions met
- ☐ Garage position and design restrictions met

A1.4.4 Matching Facade Check

- ☐ This task is completed by the WHDRC

A1.4.5 Landscape

- ☐ Retaining walls no more than 500mm
- ☐ Water taps against post or house
- ☐ Driveway design and materials restrictions met
- ☐ Bin storage areas located
- ☐ Boundary fencing located

A1.4.6 Corner Lots

- ☐ Primary and secondary facades well articulated
- ☐ Vehicle and pedestrian entry from primary (address) street

A1.4.7 General Provisions

- ☐ Airconditioner units not in direct public view or adjacent to neighbours open space
- ☐ Evaporative cooling unit not in direct public view
- ☐ Solar panels not obvious to street
- ☐ Water storage tanks behind front facade and not in direct public view
- ☐ All plumbing except downpipes concealed
- ☐ Clothes lines not in direct public view
- ☐ Television aerials, satellite dishes or other antennas to be obscured from view where possible and have limited impact on visual amenity

APPROVED AMENDED DEVELOPMENT PLAN
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Development Plan No: DP0002/06.11

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Approved by: DEE GOMES
WYNDHAM CITY COUNCIL

Date: 19 February 2016

Appendix 2

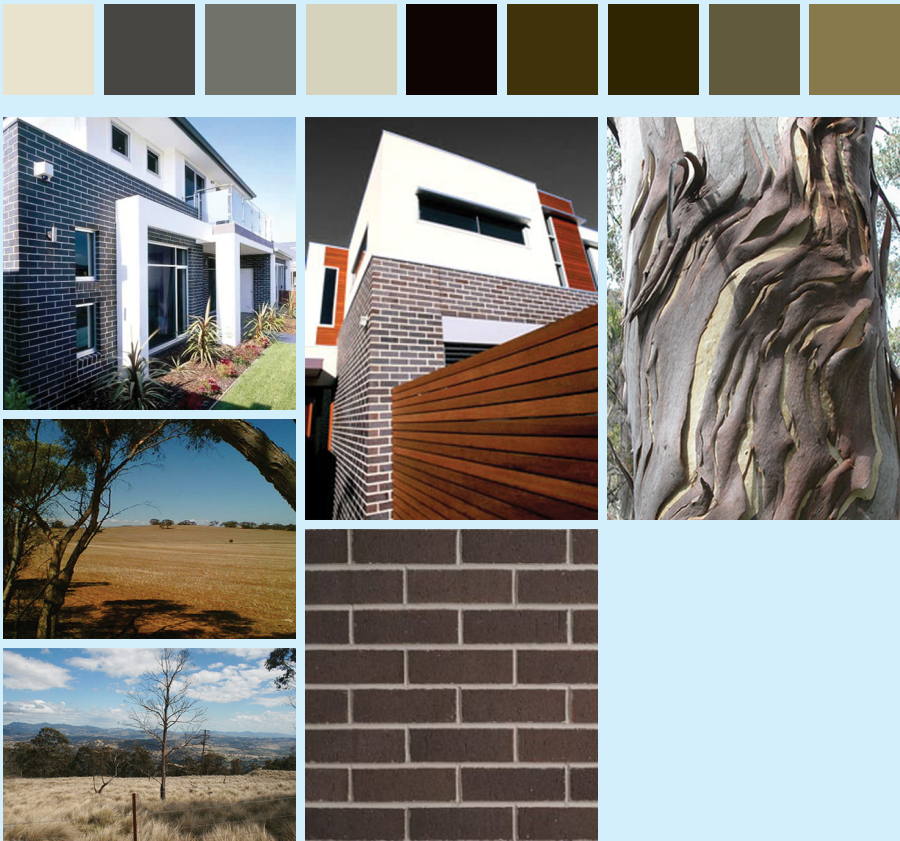
Recommended External Finishes

A2.0 External Finishes Guidelines

The overall intent regarding external finishes is to promote materials that possess natural colours and textures. The following illustrations serve only to give direction and are not specific to your home design. The WHDRC will make a final determination on the appropriateness of your external finishes scheme.

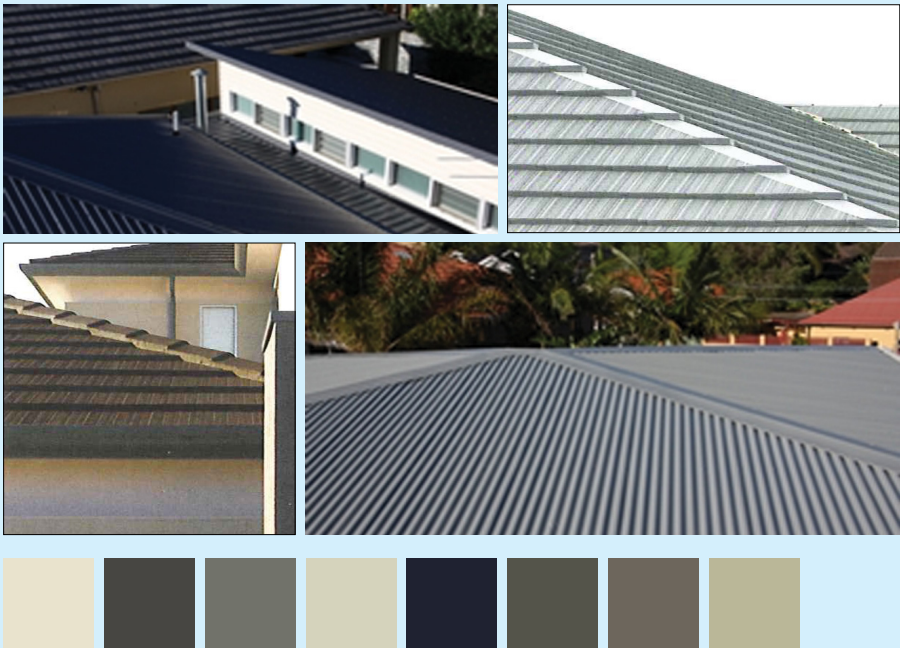
A2.1 Main External Finishes

You are not limited to the type of external walls you can build, for example: face brick, render, weatherboard, engineered timber cladding etc. Colour finishes for these materials are to be in natural or muted tones, i.e. red, yellow or orange face brick will not be approved.



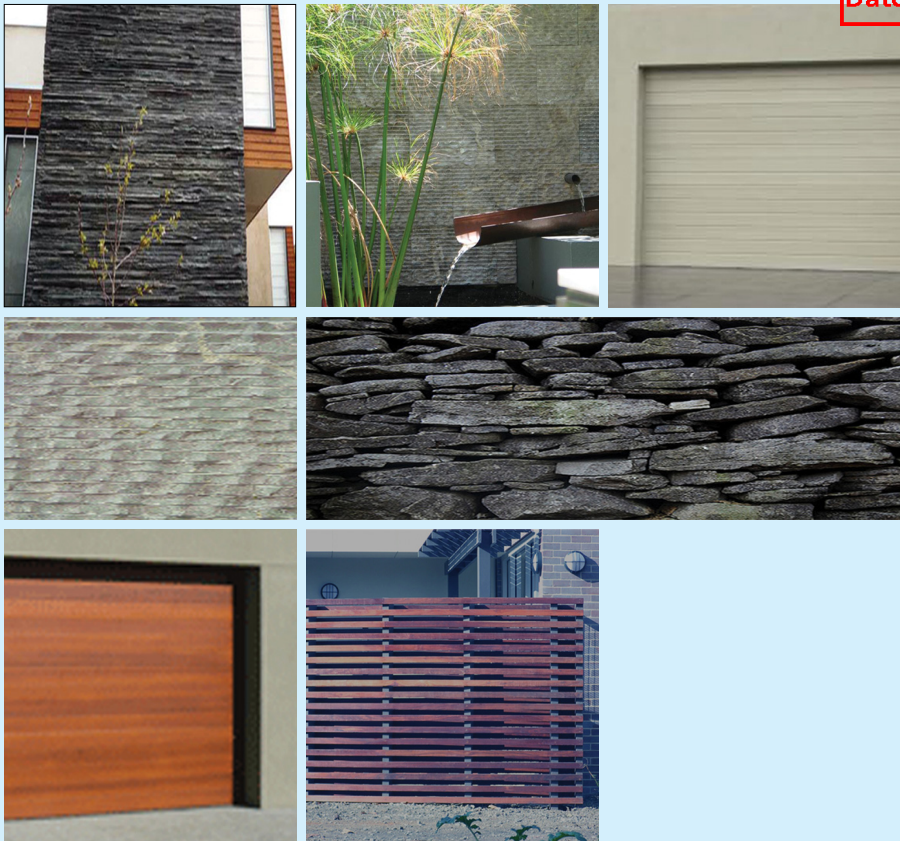
A2.2 Roofing Finishes

Terracotta or concrete roof tiles are allowed, however bright colours and overly ornate profiles are not allowed. Steel roofing is also encouraged, but again strong colours are discouraged and highly reflective finishes will not be allowed. Fascias, guttering and downpipes must be complimentary to the overall finishes scheme and not be designed to stand out.



Appendix 2

(continued)



We encourage you to consider additional elements to your home facade to create character and increase the diversity of the streetscape. Render in a bolder accent colour, whilst still adhering to the overall natural theme, timber or rock are good examples for walls surfaces. Pergolas, verandas and the like can utilise natural or painted timber, steel, stone etc.

A2.4 Landscaping Features

Driveways and pathways left as a raw concrete will not be permitted – consider exposed aggregate, tiling or stone finishes. Low height retaining walls and other landscaping features should be designed to be complimentary to the house and landscape design.

Appendix 3

Landscape Guidelines and Sample Landscape Plan

A3.0 Residential Garden Design

A3.1 General Considerations

The residential streetscapes at Wyndham Harbour will be characterised by informal copses of native tree plantings in keeping with the public landscape. Residential garden frontages shall compliment the built form of the house and seek to achieve a seamless transition between street and house.

In accordance with the architectural styling set forth in this document, residents will be required to adopt a modern native approach to landscaping, thereby providing a cohesive and open landscape character. Residents are strongly encouraged to consider the integration of the exterior architecture when planning their garden.

Standards

1. In order to present a consistent and developed frontage, the developer will engage at no expense to the owner, to the value specified in the Contract of Sale, a landscape architect to design your landscape plan with an emphasis on the front yard. This will be done in accordance with the conditions of the Contract of Sale.
2. The developer will meet the cost of the front landscape inclusive of the soil, plants, borders and mail box to the value and conditions as outlined in the Contract of Sale, inclusive of design fees.
3. The owner is responsible for meeting the costs of all other areas of the garden (i.e. side and rear yards) inclusive of paving, decking, pools and other outdoor structures and any other upgrades they choose.

A3.2 Design Considerations

Where possible garden designs should attempt to maximise the creation of useable outdoor spaces, north-facing where possible. Orientation and siting are critical to the creation of these spaces and will likely involve the careful balancing of sun and shade opportunities.

Deciduous trees and vines may be of assistance by maximising winter light whilst providing shelter in summer.

Additionally consideration should be given to the screening of service areas, neighbouring properties and adjacent open space areas through the use of either appropriate fencing materials or screen planting, thus maintaining amenity and providing privacy for the individual.

Standards

1. Sun shading devices, such as pergolas to above west-facing windows, are to be included and integrated into the architecture of the building where possible.
2. The design utilises deciduous trees and climbers to north-side of outdoor living areas.
3. Screen planting is used to improve privacy.
4. Out buildings and other structures, are not visible from front and screened from public view.
5. Private open space allowance provided as required under Rescode Standards (Section A17).
6. External service courtyard (4.5m² minimum) is screened for clothes drying.
7. Storage enclosures are encouraged to be incorporated into main building or garage built envelopes.
8. Outbuildings and sheds occupy a maximum built area of 4.5m² with maximum 2.4m height to ridgeline to be accepted. Rescode standards also apply.
9. Electrical meters, hot water and gas systems are to be screened from view.
10. Water tanks are to be screened from view.
11. Designated location for compost bin screened from view.

12. Planting strip allowed for between drive and side boundary (300mm minimum).
13. Proposed driveway material in accordance with guidelines and complimentary with landscape materials.

A3.3 Sustainability and Water Sensitive Design

In line with the established principles of Wyndham Harbour, residents are encouraged to give due consideration to the incorporation of both environmental and water sensitive landscape design elements. Owing to their competitively high water requirements, lawn areas should be kept to a minimum.

Your appointed landscape architect will help to guide you through the overall garden design to ensure compliance with these guidelines and to achieve a garden design befitting to your home design.

Standards

1. No more than 25% of the total garden area comprised of hard impermeable surfaces.
2. Lawn areas minimised through considered design.

A3.4 Plant Selection

Select plants that are suited to your garden spaces and that will complement and enhance your home's architecture. Please refer to the preferred planting list (A3.6.6, page 30-32), an excellent source from which to derive an appropriate planting selection. Selected plants adapted to the local conditions have been listed to promote creative design and respond to the modern Australian coastal aesthetic.

Again, your appointed landscape architect will guide you through this process.

Standards

To ensure the aim of the Wyndham Harbour landscaping principles is achieved; locally indigenous or native plants should comprise a minimum of 60% of the total plan.

Appendix 3

(continued)

1. To avoid introducing potentially harmful and damaging weed species, the Wyndham Harbour prohibited plant list (A3.6.7, page 33) is to be strictly adhered to.
2. Majority of plant species from the Wyndham Harbour Preferred Planting List.
3. A minimum of three front trees and two rear trees of appropriate size and species are to be included in the design. The WHDRC may consider alternative proposals for approval at its sole discretion on a case by case basis.

A3.5 Maintenance and Ongoing Care

Using species from the preferred Wyndham Harbour Planting List may reduce maintenance but will not dispense with it altogether. Similarly drought tolerant species will typically require less frequent watering.

Pruning will encourage denser more vigorous plant growth, and promote flowering in many species. Additionally weeds common to other garden types will still invade the native or indigenous garden. Accordingly regular weeding is necessary. A 75mm layer of mulch, organic or otherwise will minimise weed invasion in addition to maximising moisture retention.

Standards

1. Residents are required to maintain their gardens to a level that is generally considered to be weed free to the discretion of Wyndham Harbour Owners Corporation.
2. Lawn areas are required to be maintained, including weeding and mowing to present an orderly and neat finish to the discretion of the Wyndham Harbour Owners Corporation. Although dependent on turf species acceptable mown heights are generally in the range of 25–75mm.
3. Infringement notices and fines for non-compliance will be issued by the Wyndham Harbour Owners Corporation.

A3.6 Landscape Checklist

Landscape Plans should include:

A3.6.1 General

- ☐ Lot No. and Address
- ☐ Scale
- ☐ North-point
- ☐ Landscape key with Materials Identified
- ☐ Building Outline depicting location of windows, doorways & habitable rooms
- ☐ Proposed Species List with appropriately grouped planting types – i.e. Trees, screen shrubs, groundcovers etc.
- ☐ Location of utilities such as compost bin, water-tanks, bin stores etc.
- ☐ Appropriate detail to outdoor living spaces

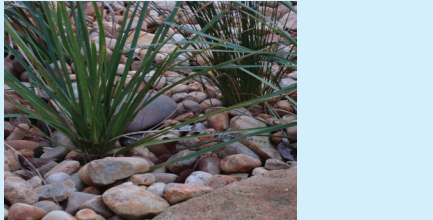
A3.6.2 Residential Garden Design Controls

- ☐ Overall planting and landscape theme consistent and in accordance with intent of Wyndham Harbour guidelines and principles
- ☐ Attempt made to integrate, reflect and compliment exterior architecture in proposed planting and landscape design

A3.6.3 Design Considerations

- ☐ Provision of sun shading devices
- ☐ Screen planting to improve privacy
- ☐ Deciduous trees and climbers to north-side of outdoor living area
- ☐ Outbuildings and other structures, not visible from front and screened from public view
- ☐ Private open space allowance provided as required under Rescode Standards (Section A17)
- ☐ External service courtyard (4.5m² minimum) screened for clothes drying
- ☐ Storage enclosures encouraged to be incorporated into main building or garage built envelopes

- ☐ Outbuildings and sheds maximum built area of 4.5m² with maximum 2.4m height to ridgeline
- ☐ Electrical meters, hot water and gas systems screened from view
- ☐ Water tanks screened from view from both the street and from neighbouring lots – semi submerging tanks to a height of 1.8m (fence height) or lower is encouraged
- ☐ Letterbox in character with house and appropriately sited
- ☐ Designated location for compost bin
- ☐ Planting strip between drive and side boundary (300mm minimum)
- ☐ Proposed driveway material in accordance with guidelines and are complimentary with landscape materials



Appendix 3
(continued)

A3.6.4 Sustainability and
Water Sensitive Design

- No more than 25% of the total garden area
comprised of hard impermeable surfaces
- Lawn areas minimised through
considered design
- Consideration given to
the use of recycled building
and landscape materials
- A3.6.5 Plant Selection
- Overall planting and landscape
theme consistent and in accordance
with intent of Wyndham Harbour
guidelines and principles
- To ensure the aim of the Wyndham
Harbour Landscaping Principles is
achieved, locally indigenous or native
plant material should comprise a
minimum of 60% of the total plant
material used in residential gardens

- Majority of plant species from the
Wyndham Harbour Preferred Planting List
- No plant species from the Wyndham
Harbour Prohibited Planting List proposed
- Proposed planting is considerate
of mature sizes and according
planting densities are appropriate

- A minimum of three front and two
rear trees of appropriate size and
species are included in the design

A3.6.6 Preferred Plants

Botanical Name	Common Name	Size	Origin
Trees			
Acacia dealbata	Silver Wattle	12.0 x 8.0m	Indigenous
Acacia melanoxylon	Blackwood	12.0 x 8.0m	Indigenous
Acacia paradoxa	Hedge Wattle	4.0 x 5.0m	Indigenous
Acacia pycnantha	Golden Wattle	7.0 x 4.0m	Indigenous
Allocasuarina verticillata	Drooping Sheoke	8.0 x 5.0m	Indigenous
Angophora hispida	Dwarf Apple	8.0 x 6.0m	Native
Banksia integrifolia	Coastal Banksia	15.0 x 8.0m	Native
Corymbia ficifolia	Red Flowering Gum	7.0 x 6.0m	Native
Corymbia ficifolia 'Summer Red'	Dwarf Red Flowering Gum	3.0 x 4.0m	Native
Eucalyptus caesia 'Silver Princess'	Silver Princess	6.0 x 5.0m	Native
Eucalyptus leucoxylon 'Rosea'	Yellow Gum	13.0 x 8.0m	Native
Eucalyptus melliodora	Yellow Box	20.0 x 15.0m	Indigenous
Eucalyptus pressiana	Bell Fruited Mallee	5.0 x 4.0m	Native
Eucalyptus polyanthemos	Red Box	20.0 x 15.0m	Indigenous
Zelkova serrata 'Green Vase'	Zelkova	14.0 x 10.0m	Exotic
Pyrus calleryana 'Capital'	Callery Pear	10.0 x 4.0m	Exotic
Koelreuteria paniculata	Golden Rain Tree	7.0 x 6.0m	Exotic
Ulmus parvifolia	Chinese Elm	12.0 x 10.0	Exotic
Climbers			
Clematis microphylla	Small-leaved Clematis	Climbing	Indigenous
Glycine tabacina	Variable Glycine	Climbing	Indigenous
Muehlenbeckia adpressa	Climbing Lignum	Climbing	Indigenous
Hardenbergia violacea	Coral Pea	Climbing	Native
Hibbertia scandens	Snake Vine	Climbing	Native
Parthenocissus tricuspidata	Boston Ivy	Climbing	Exotic
Pandorea pandorana	Wonga Wonga Vine	Climbing	Native
Grasses, Monocots and Tussocks			
Agave attenuata	Century Plant	1.0 x 1.0m	Exotic
Austrodanthonia caespitosa	Common Wallaby-grass	1.0 x 0.8m	Indigenous
Austrodanthonia duttoniana	Brown-back Wallaby-grass	0.4 x 0.5m	Indigenous
Austrodanthonia geniculata	Shiny/Kneed Wallaby-grass	0.2 x 0.2m	Indigenous
Austrodanthonia racemosa	Stiped Wallaby-grass	0.3 x 0.3m	Indigenous
Austrodanthonia setacea	Bristly Wallaby-grass	0.3 x 0.4m	Indigenous
Austrostipa rudis	Veined Spear-grass	0.4 x 0.4m	Indigenous
Austrostipa semibarbata	Fibrous Spear-grass	0.3 x 0.3m	Indigenous
Austrostipa setacea	Corkscrew Spear-grass	0.8 x 0.6m	Indigenous
Austrostipa stipoides	Prickly Spear-grass	0.6 x 0.8m	Indigenous
Carex alba 'Frosty Curls'	Frosty Curls	0.3 x 0.4m	Native
Conostylis candicans	Grey Cottonheads	1.0 x 1.0m	Native
Cordyline australis	Cabbage Tree	4.0 x 3.0m	Exotic
Dianella brevicaulis	Small flower Flax-lily	0.3 x0.5m	Indigenous
Dianella longifolia	Pale Flax-lily	0.8 x 1.0m	Indigenous
Dianella revoluta	Black-anther Flax-lily	1.0 x 2.0m	Indigenous
Dietes grandiflora	Wild Iris	1.0 x 1.2m	Exotic
Gahnia filum	Chaffy Saw-sedge	1.2 x 1.5m	Indigenous

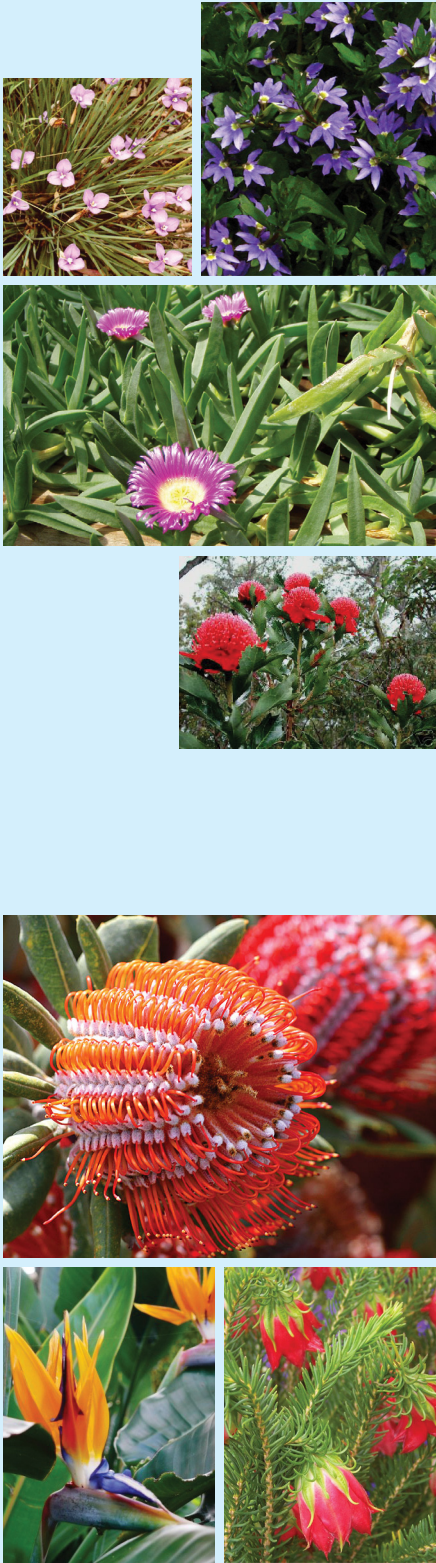
Appendix 3
(continued)

Botanical Name	Common Name	Size	Origin
Grasses, Monocots and Tussocks (continued)			
Isolepis nodosa	Knobby Club-rush	1.2 x 0.8m	Indigenous
Livistonia australis	Cabbage Palm	0.5 x 12m	Native
Lomandra filiformis	Wattle Mat-rush	0.2 x 0.3m	Indigenous
Lomandra longifolia	Spiny-headed Mat-rush	1.0 x 1.2m	Indigenous
Lomandra micrantha	Small-flower Mat-rush	0.5 x 0.5m	Indigenous
Lomandra 'Tanika'	Tanika	0.5 x 0.4m	Native
Microlaena stipoides	Weeping Grass	0.3 x 1.0m	Indigenous
Pattersonia occidentalis	Long Purple Flag	0.3 x 0.4m	Native
Phormium tenax	New Zealand Flax	2.0 x 2.5m	Exotic
Poa labillardieri	Common Tussock-grass	1.2 x 0.8m	Indigenous
Poa morrisii	Soft/Velvet Tussock-grass	0.3 x 0.3m	Indigenous
Poa poiformis	Blue/Coast Tussock-grass	0.7 x 0.6m	Indigenous
Strelitzia reginae	Bird of Paradise	1.5 x 1.0m	Exotic
Themeda triandra	Kangaroo Grass	0.5 x 0.6m	Indigenous
Shrubs			
Acacia acinacea	Gold Dust Wattle	2.0 x 2.0m	Indigenous
Acacia boormanii	Snowy River Wattle	4.0 x 3.5m	Native
Acacia cognata 'Green Mist'	Weeping Beauty	1.0 x 2.0m	Native
Acacia retinodes var. uncifolia	Wirilda	5.0 x 3.0m	Indigenous
Acacia verniciflua	Varnish Wattle	4.0 x 3.0m	Indigenous
Agonis flexuosa 'Nana'	Dwarf Willow Myrtle	1.0 x 1.0m	Native
Alyogyne huegii 'West Coast Gem'	Native Hibiscus	2.0 x 2.0m	Native
Atriplex cinerea	Coast Saltbush	1.5 x 3.0m	Indigenous
Atriplex semibaccata	Berry Saltbush	0.4 x 2.0m	Indigenous
Banksia coccinea	Scarlet Banksia	3.5 x 2.0m	Native
Banksia marginata	Silver Banksia	5.0 x 3.0m	Indigenous
Bursaria spinosa var. spinosa	Sweet Bursaria	3.0 x 2.5m	Indigenous
Callistemon 'Captain Cook'	Captain Cook Bottlebrush	1.2 x 1.5m	Native
Callistemon 'Harkness'	Harkness Bottlebrush	6.0 x 5.0m	Native
Callistemon sieberi	River Bottlebrush	3.0 x 2.0m	Indigenous
Cassinia aculeata	Common Cassinia	3.0 x 2.0m	Indigenous
Chamelaucium uncinatum	Geraldton Wax Flower	1.2 x 1.5m	Native
Correa reflexa 'Dusky Bells'	Dusky Bells	1.0 x 1.5m	Native
Correa glabra	Rock Correa	1.0 x 1.5m	Indigenous
Correa pulchella 'Orange Glow'		0.6 x 08m	Native
Crowea saligna	Star Crowea	1.5 x 1.0m	Native
Darwinia oxylepis	Mountain Bell's	1.0 x 0.8m	Native
Dodonaea viscosa ssp. cuneata	Wedge-leaf Hop-bush	3.0 x 2.0m	Indigenous
Dryandra formosa	Showy Dryandra	3.0 x 2.0m	Native
Dryandra nivea	Couch Honey-pot	0.7 x 0.7m	Native
Eremophila nivea	Silky Emu Bush	1.5 x 1.5m	Native
Grevillea bipinnatifida	Fuchsia Grevillea	0.7 x 1.5m	Native
Grevillea hookeriana		3.0 x 3.0m	Native
Grevillea lanigera 'Mt. Tamboritha'	Woolly Grevillea	0.5 x 1.0m	Native
Grevillea 'Robyn Gordon'	Grevillea Robyn Gordon	1.0 x 1.5m	Native
Grevillea 'Sandra Gordon'	Grevillea Sandra Gordon	3.0 x 2.5m	Native

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Appendix 3
(continued)



Botanical Name	Common Name	Size	Origin
Shrubs (continued)			
Hebe 'Wiri Splash'	Hebe	1.0 x 1.5m	Exotic
Hymenanthera dentata	Tree Violet	2.0 x 2.0m	Indigenous
Leptospermum lanigerum	Woolly Tea-tree	4.0 x 3.0m	Indigenous
Leucophyta brownii	Cushion Bush	1.0 x 1.0m	Native
Melaleuca lanceolata	Moonah	6.0 x 5.0m	Indigenous
Metrosideros 'Tahiti'	New Zealand Christmas Bush	2.0 x 1.0m	Exotic
Philotheca myoporoides	Wax Flower	2.0 x 3.0m	Native
Pittosporum 'Miss Muffett'	Miss Muffett Pittosporum	1.0 x 1.5m	Exotic
Pimelea glauca	Smooth Rice-flower	0.6 x 0.9m	Indigenous
Rhagodia candolleana ssp.	Seaberry Saltbush	1.5 x 3.0m	Indigenous
Sambucus gaudichaudiana	White Elderberry	2.0 x 2.0m	Indigenous
Teloepa speciosissima	Waratah	3.0 x 2.0m	Native
Thrytomene saxicola	Thryptomene	1.0 x 1.0m	Native
Westringia fruticosa 'Wynnabbie Gem'	Coastal Rosemary	2.0 x 1.5m	Native
Herbs			
Brachyscome dentata	Lobe-seed Daisy	0.3 x 0.3m	Indigenous
Brachyscome multifida	Cut Leaf Daisy	0.2 x 0.4m	Native
Calocephalus citreus	Lemon Beauty-heads	0.3 x 0.4m	Indigenous
Chrysocephalum apiculatum	Common Everlasting	0.4 x 0.6m	Indigenous
Chrysocephalum semipapposum	Clustered Everlasting	0.6 x 0.6m	Indigenous
Craspedia paludicola	Swamp Billy-buttons	0.5 x 0.3m	Indigenous
Diuris lanceolata	Golden Moths	0.3 x0.3m	Indigenous
Helichrysum scorpioides	Button Everlasting	0.3 x 0.3m	Indigenous
Pelargonium australe	Austral Stork's-bill	0.4 x 0.3m	Indigenous
Pelargonium rodneyanum	Magenta Stork's-bill	0.4 x 0.6m	Indigenous
Ptilotus macrocephalus	Feather-heads	0.3 x 0.4m	Indigenous
Stackhousia monogyna	Creamy Candles	0.6 x0.5m	Indigenous
Teucrium racemosum	Grey Germander	0.4 x 0.4m	Indigenous
Wahlenbergia communis	Tufted Bluebell	0.3 x 0.4m	Indigenous
Wahlenbergia gracilentia	Annual Bluebell	0.2 x 0.4m	Indigenous
Groundcovers			
Burchardia umbellata	Milkmaids	0.5 x 0.4m	Indigenous
Carpobrotus rossii	Karkalla	0.1 x 3.0m	Indigenous
Convolvulus erubescens	Pink Bindweed	0.1 x 2.0m	Indigenous
Dichondra repens	Kidney-weed	0.1 x 3.0m	Indigenous
Disphyma crassifolium ssp.	Rounded Noon-flower	0.1 x 3.0m	Indigenous
Grevillea x gaudichaudii		0.1 x 3.0m	Native
Kennedia prostrata	Running Postman	0.1 x 2.0m	Indigenous
Lobelia pratoides	Poison Lobelia	0.3 x 1.0m	Indigenous
Scaevola amuela	Fan Flower	0.2 x 2.0m	Native
Tetragonia implexicoma	Bower Spinach	0.2 x 3.0m	Indigenous
Viola hederacea	Ivy-leaf Violet	0.1 x 2.0m	Indigenous

Appendix 3
(continued)

A3.6.7 Prohibited Plants

Botanical Name	Common Name
Trees	
Acacia baileyana	Cootamundra Wattle
Cupressus macrocarpa	Monterey Cypress
Cytisus palmensis	Tagasaste
Eucalyptus botryoides	Southern Mahogany
Eucalyptus cladocalyx	Sugar Gum
Hakea salicifolia	Willow-leaf Hakea
Pinus radiata	Radiata Pine
Pittosporum undulatum	Sweet Pittosporum
Prunus cerasifera sp	Cherry Plum
Salix sp	Willow
Schinus molle	Peppercorn
Tamarix aphylla	Tamarisk

Shrubs & Ornamentals

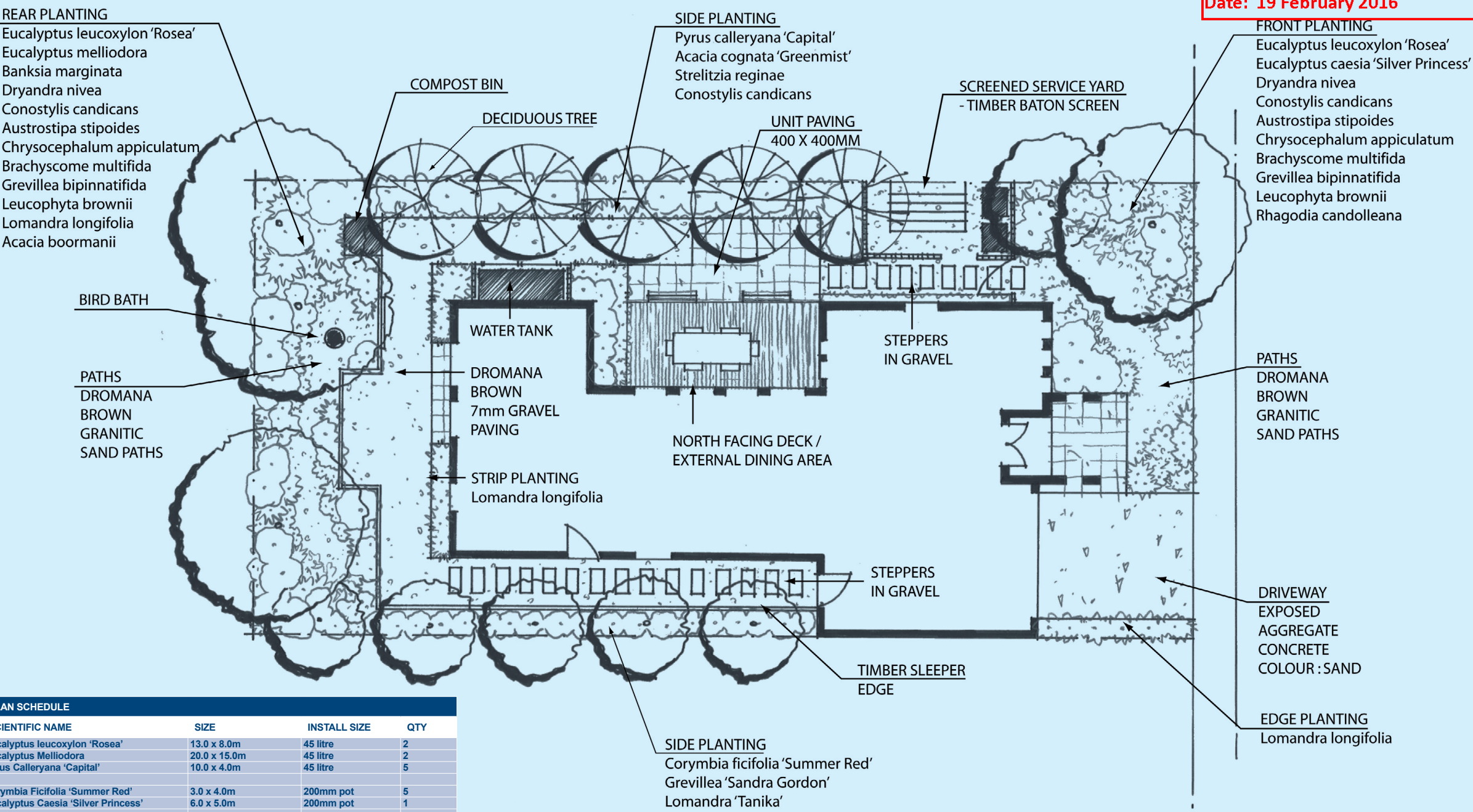
Agapanthus orientalis	Agapanthus
Ailanthus altissima	Tree of Heaven
Allium triquetrum	Angled Onion
Alternanthera philoxeroides	Alligator Weed
Asparagus asparagoides	Bridal Creeper
Asphodelus fistulosus	Onion Weed
Cestrum parqui	Chilean Cestrum
Chrysanthemoides monilifera	Boneseed/Bitou Bush
Coprosma repens NZ	Mirror-bush
Cortaderia selloana	Pampas Grass
Cotoneaster sp	Cotoneaster
Crataegus monogyna	Hawthorn
Cynara cardunculus	Artichoke Thistle
Cytisus scoparius	English Broom
Echium plantagineum	Paterson's Curse
Equisetum spp.	Horsetail
Eragrostis curvula	African Love-grass
Foeniculum vulgare	Fennel
Genista monspessulana	Cape Broom
Genista sp	Broom
Hedera helix	Ivy
Hypericum perforatum	St John's Wort
Hypericum tetrapterum	St Peter's Wort
Ilex aquifolium	Holly
Juncus acutus	Spiny Rush
Lantana camara	Lantana
Lavandula stoechas	Topped Lavender
Lycium ferocissimum	African Boxthorn
Melaleuca armillaris	Bracelet Honey-myrtle
Melaleuca nesophila	Mauve Honey-myrtle
Melianthus comosus	Tufted Honeyflower
Nassella charruana	Lobed Needle-grass
Nassella neesiana	Chilean Needle-grass
Opuntia stricta	Prickly Pear (Erect)
Pennisetum macrourum	African Feather-grass
Pennisetum sp	Feathertop
Rosa rubiginosa	Sweet Briar
Rubus fruticosus agg	Blackberry
Senecio pterophorus	African Daisy
Solanum linnaeanum	Apple of Sodom
Sollya heterophylla	Bluebell Creeper
Ulex europaeus	Gorse/Furze
Verbascum thapsus	Great Mullein
Vinca major	Blue Periwinkle
Watsonia meriana var.bulbillifera	Wild Watsonia
Watsonia sp	Watsonia
Zantedeschia aethiopica	White Arum Lily

APPROVED AMENDED DEVELOPMENT PLAN
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A3.7 Example Landscaping Plan



PLAN SCHEDULE			
SCIENTIFIC NAME	SIZE	INSTALL SIZE	QTY
Eucalyptus leucoxylon 'Rosea'	13.0 x 8.0m	45 litre	2
Eucalyptus Melliodora	20.0 x 15.0m	45 litre	2
Pyrus Calleryana 'Capital'	10.0 x 4.0m	45 litre	5
Corymbia Ficifolia 'Summer Red'	3.0 x 4.0m	200mm pot	5
Eucalyptus Caesia 'Silver Princess'	6.0 x 5.0m	200mm pot	1
Acacia Boormanii	4.0 x 3.5m	150mm pot	6
Acacia Cognata 'Green Mist'	1.0 x 2.0m	150mm pot	10
Austrostipa Stipoides	0.6 x 0.8m	150mm pot	22
Banksia Marginata	5.0 x 3.0m	150mm pot	5
Brachyscome Multifida	0.2 x 0.4m	150mm pot	52
Chrysosplenium Apiculatum	0.4 x 0.6m	150mm pot	27
Conostylis Candicans	1.0 x 1.0m	150mm pot	45
Dryandra Nivea	0.7 x 0.7m	150mm pot	15
Grevillea Bipinnatifida	0.7 x 1.5m	150mm pot	11
Grevillea Sandra Gordon	3.0 x 2.5m	150mm pot	18
Leucophyta Brownii	1.0 x 1.0m	150mm pot	22
Lomandra Longifolia	1.0 x 1.2m	150mm pot	25
Lomandra Tanika	0.5 x 0.4m	150mm pot	36
Strelitzia Reginae	1.5 x 1.0m	150mm pot	6
Anagodia Candolleana	1.5 x 3.0m	150mm pot	6

LEGEND			
	SPOTTED GUM TIMBER DECK		DECIDUOUS TREE
	UNIT PAVING 400 x 400mm C & M FOSSIL HONED FINISH		EVERGREEN TREE
	SCREEN SHRUBS		MEDIUM & LARGE SHRUBS
	GRASSES, HERBS & GROUNDCOVERS		

